

ACC METROPOLITAN DISTRICT

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NOTICE OF REGULAR MEETING AND AGENDA

<u>Board of Directors</u>	<u>Office</u>	<u>Term/Expires</u>
Julie von Clausburg	President	2023/May 2023
John E. Strabel	Treasurer	2023/May 2023
Brenda Lamer	Assistant Secretary	2025/May 2025
VACANT		2025/May 2023
VACANT		2025/May 2023

DATE: November 2, 2022 (Wednesday)

TIME: 9:30 A.M.

PLACE: *This meeting will be held via Zoom without any individuals (neither District representatives nor the general public) attending in person. The meeting can be joined through the directions below:*

Join Zoom Meeting

<https://us02web.zoom.us/j/82943663386?pwd=K3I2dXZpYlJ5Y0NXanZDMTN1d2ZpUT09>

Meeting ID: 829 4366 3386

Passcode: 118612

One tap mobile

+17193594580,,82943663386# US

+16694449171,,82943663386# US

I. ADMINISTRATIVE MATTERS

- A. Confirm Quorum and Present Disclosures of Potential Conflicts of Interest.

- B. Approve Agenda, confirm location of the meeting and posting of meeting notices.

- C. Acknowledge resignation of David M. Solin as Secretary to the Board and consider appointment of James H. Ruthven as Secretary to the Board.

- D. Consider approval of the Minutes from June 8, 2022 special meeting (enclosure).

- E. Discuss business to be conducted in 2023 and location (**virtual and/or physical**) of meetings. Schedule regular meeting dates and consider adoption of Resolution No. 2022-11-____ Establishing Regular Meeting Dates, Time, Location, and Designating Location for Posting 24-Hour Notices (enclosure).

- F. Discuss §32-1-809, C.R.S. (Transparency Notice) reporting requirements and mode of eligible elector notification and direct staff regarding compliance.
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II. PUBLIC COMMENTS

- A. _____

III. FINANCIAL MATTERS

- A. Review and ratify the approval of the payment of claims as follows (enclosures):

Fund	Period Ending June 30, 2022	Period Ending July 31, 2022	Period Ending Aug. 31, 2022	Period Ending Sept. 30, 2022
General	\$ 1,828.18	\$ 1,602.76	\$ 2,247.55	\$ 2,907.80
Debt	\$ -0-	\$ -0-	\$ -0-	\$ 4,500.00
Capital	\$ 52,896.82	\$ 5,043.04	\$ 49,388.27	\$ 65,315.56
Total	\$ 54,725.00	\$ 6,645.80	\$ 51,635.82	\$ 72,723.36

Fund	Period Ending Oct. 31, 2022
General	\$ 9,955.42
Debt	\$
Capital	\$ 1,286,629.14
Total	\$ 1,296,584.56

- B. Review and accept unaudited financial statements for the period ending September 30, 2022 and Cash Position Statement dated September 30, 2022 (enclosure).
-

- C. Ratify approval of engagement of Haynie & Company for preparation of 2021 Audit.
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- D. Ratify approval and filing of the 2021 Audit and authorization of execution of the Representations Letter (enclosure).
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- E. Discuss statutory requirements for an audit. Consider engagement of Haynie & Company for preparation of 2022 Audit, for an amount not to exceed \$7,600.
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- F. Conduct public hearing to consider Amendment to 2022 Budget and (if necessary) consider adoption of a Resolution No. 2022-11-__ to Amend the 2022 Budget.

- G. Conduct Public Hearing on the proposed 2023 Budget and consider adoption of Resolution No. 2022-11-__ to Adopt the 2023 Budget and Appropriate Sums of Money and Resolution No. 2022-11-__ to Set Mill Levies (enclosures - preliminary assessed valuations, 2023 draft Budget and Resolutions).

- H. Consider authorizing the District Accountant to prepare and sign the DLG-70 Mill Levy Certification form for certification to the Board of County Commissioners and other interested parties.

- I. Consider appointment of District Accountant to prepare the 2024 Budget and set date for public hearing to adopt the 2024 Budget (_____, 2023).

- J. Discuss and consider approval of Cost Certification Report #3 prepared by Independent District Engineering Services, LLC (“IDES”) and accept District eligible costs (to be distributed).

- K. Discuss reimbursing Developer Advances under the existing Funding Agreements and authorize all actions in connection with a draw on the 2019B Loan.

IV. LEGAL MATTERS

- A. Discuss May 2, 2023 Regular Directors’ election regarding new legislative requirements and related expenses for same. Consider adoption of Resolution No. 2022-11-____; Resolution Calling a Regular Election for Directors on May 2, 2023, appointing the Designated Election Official (“DEO”), and authorizing the DEO to perform all tasks required for the conduct of mail ballot election (enclosures). Self-Nomination forms are due by February 28, 2023. Discuss the need for ballot issues and/or questions.

- B. Discuss status of Public Improvements Deferral Agreements with City of Aurora (enclosures).

V. CAPITAL IMPROVEMENTS

- A. Discuss Ownership and Maintenance of Improvements.
-

VI. OTHER MATTERS

- A. _____
-

VII. ADJOURNMENT **THERE ARE NO MORE REGULAR MEETINGS SCHEDULED FOR 2022.**

Informational Enclosure:

- Memo regarding New Rate Structure from Special District Management Services, Inc.
- Letter regarding rate increase from McGeady Becher P.C.

RECORD OF PROCEEDINGS

MINUTES OF A SPECIAL MEETING OF THE BOARD OF DIRECTORS OF THE ACC METROPOLITAN DISTRICT HELD JUNE 8, 2022

A special meeting of the Board of Directors (referred to hereafter as “Board”) of the ACC Metropolitan District (referred to hereafter as “District”) convened on Wednesday, the 8th day of June, 2022, at 9:30 A.M. This meeting was held via teleconference. The meeting was open to the public.

ATTENDANCE

Directors In Attendance Were:

Julie von Clausburg
John E. Strabel
Brenda Lamer

Also In Attendance Were:

David Solin and Jim Ruthven (for a portion of the meeting); Special District Management Services, Inc.
Paula Williams, Esq. and Kate Olson, Esq. McGeady Becher P.C.
Jim Knopka; First Industrial Realty Trust, Inc.

DISCLOSURE OF POTENTIAL CONFLICTS OF INTEREST

Disclosures of Potential Conflicts of Interest: Mr. Solin advised the Board regarding the requirements pursuant to the Colorado Revised Statutes to disclose any potential conflicts of interest or potential breaches of fiduciary duty to the Board of Directors and to the Secretary of State. It was noted that a quorum was present, and Directors were asked to disclose any additional conflicts of interest they might have regarding any matters scheduled for discussion at this meeting and incorporated for the record those applicable disclosures made prior to this meeting in accordance with the statute. Disclosures of potential conflicts of interest were filed with the Secretary of State for all directors, and no additional conflicts were disclosed at the meeting.

ADMINISTRATIVE MATTERS

Agenda: Mr. Solin distributed for the Board’s review and approval, a proposed agenda for the District’s special meeting.

Following discussion, upon motion duly made by Director von Clausburg, seconded by Director Strabel and, upon vote, unanimously carried, the agenda was approved, as presented.

RECORD OF PROCEEDINGS

Meeting Location and Posting of Notice: The Board discussed the requirements of Section 32-1-903(1), C.R.S., concerning the location of the District's Board meeting.

Following discussion, upon motion duly made by Director von Clausburg, seconded by Director Strabel and, upon vote, unanimously carried, the Board determined to conduct the meeting via conference call and encouraged public participation via telephone. The Board noted that notice of this meeting and conference call participation information was duly posted and that it had not received any objections to the telephonic meeting or any requests that the meeting be changed by taxpaying electors within the District's boundaries.

Designation of 24-hour Posting Location: Following discussion, upon motion duly made by Director von Clausburg, seconded by Director Strabel and, upon vote, unanimously carried, the Board determined that notices of meetings of the District Board required pursuant to Section 24-6-402(2)(c), C.R.S., shall be posted within the boundaries of the District at least 24 hours prior to each meeting at the following location: The Southeast corner of the intersection of Piccadilly Road and 26th Ave.

Results of the May 3, 2022 Director Election: Mr. Solin discussed the results May 3, 2022 Director Election with the Board, noting that it was cancelled, as allowed under Colorado law, by the Designated Election Official because there were no more candidates than positions available on the Board of Directors. Director Lamer was deemed elected to a 3-year term ending May 2025.

Oaths of Office: Mr. Solin confirmed with the Board the filing of the Oaths of Office with the applicable entities as required by statute.

Vacancies on the Board: Mr. Solin discussed the vacancies with the Board. Mr. Solin noted that there were no interested parties at this time.

Appointment of Officers: The Board discussed the appointment of officers.

Following discussion, upon motion duly made by Director von Clausburg, seconded by Director Strabel and, upon vote, unanimously carried, the following slate of officers was appointed:

President	Julie von Clausburg
Treasurer	John E. Strabel
Secretary	David Solin
Assistant Secretary	Brenda Lamer

RECORD OF PROCEEDINGS

November 3, 2021 and March 9, 2022 Meeting Minutes: The Board reviewed the minutes of the November 3, 2021 special meeting and the March 9, 2022 special meeting.

Following discussion, upon motion duly made by Director von Clausburg, seconded by Director Strabel and, upon vote, unanimously carried, the Board approved the minutes of the November 3, 2021 special meeting and the March 9, 2022 special meeting.

District Website: Mr. Solin updated the Board on the status of the District Website. Mr. Solin noted that they are still waiting on the assignment from SIPA.

PUBLIC COMMENTS

There were no public comments.

FINANCIAL MATTERS

Payment of Claims: The Board considered the ratification of approval of the payment of claims as follows:

Fund	Period Ending Nov. 30, 2021	Period Ending Dec. 31, 2021	Period Ending Jan. 31, 2022	Period Ending Feb. 28, 2022
General	\$ 1,732.45	\$ 4,614.08	\$ 1,050.30	\$ 697.41
Debt	\$ -0-	\$ -0-	\$ -0-	\$ -0-
Capital	\$ 24,419.78	\$ 16,377.64	\$ 460,648.54	\$ 13,641.61
Total	\$ 26,152.23	\$ 20,991.72	\$ 461,698.84	\$ 14,339.02

Fund	Period Ending March 31, 2022	Period Ending April 30, 2022	Period Ending May 31, 2022
General	\$ 1,356.03	\$ 1,808.32	\$ 3,266.52
Debt	\$ 16,150.06	\$ -0-	\$ -0-
Capital	\$ 14,919.22	\$ 733,044.95	\$ 26,244.64
Total	\$ 32,425.31	\$ 734,853.27	\$ 29,511.16

Following discussion, upon motion duly made by Director von Clausburg, seconded by Director Strabel and, upon vote unanimously carried, the Board ratified approval of the payment of claims, as presented.

Financial Statements and Schedule of Cash Position: Mr. Ruthven presented to the Board the unaudited financial statements dated March 31, 2022 and the Schedule of Cash Position as of March 31, 2022.

Following review and discussion, upon motion duly made by Director von Clausburg, seconded by Director Strabel and, upon vote unanimously carried, the Board accepted the unaudited financial statements dated March 31, 2022 and the Schedule of Cash Position as of March 31, 2022.

RECORD OF PROCEEDINGS

2021 Audit: Mr. Ruthven discussed with the Board the status of the 2021 Audit. Mr. Ruthven reported that the Audit will not be finished by July 30, 2022, and therefore Mr. Ruthven will file an extension with the Office of the State Auditor. Haynie & Company will have the Audit completed by September 30, 2022.

LEGAL MATTERS

Public Improvements Deferral Agreements with City of Aurora: Attorney Williams discussed with the Board the status of the Public Improvements Deferral Agreements with the City of Aurora. Mr. Solin reported that he is working with the Colorado Special District Pool and they should underwrite the performance bond once the final agreements are available.

Following review and discussion, upon motion duly made by Director von Clausburg, seconded by Director Strabel and, upon vote unanimously carried, the Board approved the Public Improvements Deferral Agreements with the City of Aurora, subject to final legal review.

CAPITAL IMPROVEMENTS

Ownership and Maintenance of Improvements: Attorney Williams discussed with the Board the ownership and maintenance improvements and the process for maintaining public areas of the District. Following discussion, the Board directed Attorney Williams to work with the developer regarding the easements that may be necessary.

OTHER MATTERS

Operation Funding Agreements (“OFA”) and Reimbursements to the Developer: Ms. Williams discussed the outstanding developer advances under the OFA and the options available for reimbursement. No further action was taken by the Board.

Facilities Funding and Acquisition Agreement (“FFAA”) and Reimbursements to the Developer: Ms. Williams discussed the outstanding developer advances under the FFAA and the options available for reimbursement. No action was taken by the Board.

It was noted that the preliminary assessed valuation will be sent to Mr. Knopka, upon receipt, for review and discussion with Vectra Bank.

Update on District Improvements: Mr. Knopka provided an update to the Board regarding the status of the improvements in the District.

RECORD OF PROCEEDINGS

ADJOURNMENT

There being no further business to come before the Board at this time, upon motion duly made, seconded and, upon vote, unanimously carried, the meeting was adjourned.

Respectfully submitted,

By _____
Secretary for the Meeting

RESOLUTION NO. 2022-__-__

**RESOLUTION OF THE BOARD OF DIRECTORS OF
THE ACC METROPOLITAN DISTRICT
ESTABLISHING REGULAR MEETING DATES, TIME, AND LOCATION,
ESTABLISHING DISTRICT WEBSITE AND
DESIGNATING LOCATION FOR POSTING OF 24-HOUR NOTICES**

A. Pursuant to Section 32-1-903(1.5), C.R.S., special districts are required to designate a schedule for regular meetings, indicating the dates, time and location of said meetings.

B. Pursuant to Section 32-1-903(5), C.R.S., “location” means the physical, telephonic, electronic, or virtual place, or a combination of such means where a meeting can be attended. “Meeting” has the same meaning as set forth in Section 24-6-402(1)(b), C.R.S., and means any kind of gathering, convened to discuss public business, in person, by telephone, electronically, or by other means of communication.

C. Pursuant to Section 24-6-402(2)(c)(I), C.R.S., special districts are required to designate annually at the board of directors of the district’s first regular meeting of each calendar year, the public place at which notice of the date, time and location of regular and special meetings (“**Notice of Meeting**”) will be physically posted at least 24 hours prior to each meeting (“**Designated Public Place**”). A special district is deemed to have given full and timely notice of a regular or special meeting if it posts its Notice of Meeting at the Designated Public Place at least 24 hours prior to the meeting.

D. Pursuant to Section 24-6-402(2)(c)(III), C.R.S., special districts are relieved of the requirement to post the Notice of Meeting at the Designated Public Place, and are deemed to have given full and timely notice of a public meeting if a special district posts the Notice of Meeting online on a public website of the special district (“**District Website**”) at least 24 hours prior to each regular and special meeting.

E. Pursuant to Section 24-6-402(2)(c)(III), C.R.S., if a special district is unable to post a Notice of Meeting on the District Website at least 24 hours prior to the meeting due to exigent or emergency circumstances, then it must physically post the Notice of Meeting at the Designated Public Place at least 24 hours prior to the meeting.

F. Pursuant to Section 32-1-903(1.5), C.R.S., all meetings of the board that are held solely at physical locations must be held at physical locations that are within the boundaries of the district or that are within the boundaries of any county in which the district is located, in whole or in part, or in any county so long as the physical location does not exceed twenty (20) miles from the district boundaries unless such provision is waived.

G. The provisions of Section 32-1-903(1.5), C.R.S., may be waived if: (1) the proposed change of the physical location of a meeting of the board appears on the agenda of a meeting; and (2) a resolution is adopted by the board stating the reason for which meetings of the board are to be held in a physical location other than under Section 32-1-903(1.5), C.R.S., and further stating the date, time and physical location of such meeting.

NOW, THEREFORE, BE IT RESOLVED by the Board of Directors of the ACC Metropolitan District (the “**District**”), Adams County, Colorado:

1. That the provisions of Section 32-1-903(1.5), C.R.S., be waived pursuant to the adoption of this Resolution.

2. That the Board of Directors (the “**District Board**”) has determined that conducting meetings at a physical location pursuant to Section 32-1-903(1.5), C.R.S., would be inconvenient and costly for the directors and consultants of the District in that they live and/or work outside of the twenty (20) mile radius requirement.

3. That regular meetings of the District Board for the year 2023 shall be held on June __ and November __, 2023 at 9:30 A.M., telephonically via conference call.

4. That special meetings of the District Board shall be held as often as the needs of the District require, upon notice to each director.

5. That, until circumstances change, and a future resolution of the District Board so designates, the physical location and/or method or procedure for attending meetings of the District Board virtually (including the conference number or link) shall appear on the agenda(s) of said meetings.

6. That the residents and taxpaying electors of the District shall be given an opportunity to object to the meeting(s) physical location(s), and any such objections shall be considered by the District Board in setting future meetings.

7. That the District has established the following District Website, accmd.colorado.gov, and the Notice of Meeting of the District Board shall be posted on the District Website at least 24 hours prior to meetings pursuant to Section 24-6-402(2)(c)(III), C.R.S. and Section 32-1-903(2), C.R.S.

8. That, if the District is unable to post the Notice of Meeting on the District Website at least 24 hours prior to each meeting due to exigent or emergency circumstances, the Notice of Meeting shall be posted within the boundaries of the District at least 24 hours prior to each meeting, pursuant to Section 24-6-402(2)(c)(I) and (III), C.R.S., at the following Designated Public Place:

(a) Southeast corner of the intersection of Piccadilly Road and 26th Ave.

9. Special District Management Services, Inc., or his/her designee, is hereby appointed to post the above-referenced notices.

[SIGNATURE PAGE TO RESOLUTION ESTABLISHING REGULAR MEETING DATES, TIME, AND LOCATION, ESTABLISHING DISTRICT WEBSITE AND DESIGNATING LOCATION FOR 24-HOUR NOTICES]

RESOLUTION APPROVED AND ADOPTED on November __, 2022.

ACC METROPOLITAN DISTRICT

By: _____
President

Attest:

Secretary

ACC Metropolitan District
June-22

Vendor	Invoice #	Date	Due Date	Amount	Expense Account	Account Number
Kimley Horn and Associates, Inc.	1-21687742	5/31/2022	5/31/2022	\$ 22,396.96	Engineering	3-784
Kimley Horn and Associates, Inc.	096583000-0422	4/30/2022	4/30/2022	\$ 2,567.93	Engineering	3-784
Kumar & Associates, Inc.	212853	5/16/2022	5/16/2022	\$ 224.50	Engineering	3-784
Langan Engineering and Env. Svcs. Inc	LAN 0357091	6/13/2022	7/13/2022	\$ 3,967.08	Engineering	3-784
Langan Engineering and Env. Svcs. Inc	LAN 0354981	5/16/2022	6/15/2022	\$ 8,167.64	Engineering	3-784
Matrix Design Group	36475- Revised	5/20/2022	6/19/2022	\$ 8,240.00	Engineering	3-784
McGeady Becher P.C.	685W 04/2022	4/30/2022	4/30/2022	\$ 1,418.04	Legal	3-675
McGeady Becher P.C.	685W 04/2022	4/30/2022	4/30/2022	\$ 945.36	Legal	1-675
Special District Management Services	May-22	5/31/2022	5/31/2022	\$ 467.68	Accounting	1-612
Special District Management Services	May-22	5/31/2022	5/31/2022	\$ 701.52	Management / Accounting	3-612
Special District Management Services	May-22	5/31/2022	5/31/2022	\$ 32.58	Miscellaneous	1-685
Special District Management Services	May-22	5/31/2022	5/31/2022	\$ 207.20	Election	1-680
Special District Management Services	May-22	5/31/2022	5/31/2022	\$ 263.04	District Management	3-614
Special District Management Services	May-22	5/31/2022	5/31/2022	\$ 175.36	Management	1-614
Union Pacific Railroad Company	90115927	6/22/2022	6/22/2022	\$ 4,950.11	Engineering	3-784
				\$54,725.00		

ACC Metropolitan District
June-22

	General	Debt	Capital	Totals
Disbursements	\$ 1,828.18		\$ 52,896.82	\$ 54,725.00
<u>Total Disbursements from Checking Acct</u>	<u>\$ 1,828.18</u>	<u>\$ -</u>	<u>\$ 52,896.82</u>	<u>\$ 54,725.00</u>

ACC Metropolitan District
July-22

Vendor	Invoice #	Date	Due Date	Amount	Expense Account	Account Number
Kumar & Associates, Inc.	213439	6/17/2022	6/17/2022	\$ 2,672.50	Engineering	3-784
McGeady Becher P.C.	685W 05/2022	5/31/2022	5/31/2022	\$ 1,310.70	Legal	3-675
McGeady Becher P.C.	685W 05/2022	5/31/2022	5/31/2022	\$ 873.80	Legal	1-675
Special District Management Services	Jun-22	6/30/2022	6/30/2022	\$ 355.20	Accounting	1-612
Special District Management Services	Jun-22	6/30/2022	6/30/2022	\$ 532.80	Management / Accounting	3-612
Special District Management Services	Jun-22	6/30/2022	6/30/2022	\$ 7.60	Miscellaneous	1-685
Special District Management Services	Jun-22	6/30/2022	6/30/2022	\$ 14.80	Election	1-680
Special District Management Services	Jun-22	6/30/2022	6/30/2022	\$ 527.04	District Management	3-614
Special District Management Services	Jun-22	6/30/2022	6/30/2022	\$ 351.36	Management	1-614
				\$ 6,645.80		

ACC Metropolitan District
July-22

	General	Debt	Capital	Totals
Disbursements	\$ 1,602.76		\$ 5,043.04	\$ 6,645.80
Total Disbursements from Checking Acct	\$ 1,602.76	\$ -	\$ 5,043.04	\$ 6,645.80

ACC Metropolitan District
August-22

Vendor	Invoice #	Date	Due Date	Amount	Expense Account	Account Number
Independent District Engineering Services	28007	7/31/2022	7/31/2022	\$ 1,080.00	Professional Services	3-750
Kimley Horn and Associates, Inc.	096583003-0622	6/30/2022	6/30/2022	\$ 130.00	Engineering	3-784
Kimley Horn and Associates, Inc.	096583002-0622	6/30/2022	6/30/2022	\$10,977.72	Engineering	3-784
Kimley Horn and Associates, Inc.	096583002-0722	7/31/2022	7/31/2022	\$ 5,717.24	Engineering	3-784
Kumar & Associates, Inc.	214185	7/28/2022	7/28/2022	\$ 1,035.00	Engineering	3-784
Langan Engineering and Env. Svcs. Inc	LAN 0359207	7/18/2022	8/12/2022	\$10,748.14	Engineering	3-784
Matrix Design Group	37075	7/19/2022	8/12/2022	\$16,331.25	Engineering	3-784
McGeady Becher P.C.	685W 06/2022	6/30/2022	6/30/2022	\$ 2,623.00	Legal	3-675
McGeady Becher P.C.	685W 06/2022	6/30/2022	6/30/2022	\$ 1,748.67	Legal	1-675
Special District Management Services	Jul-22	7/31/2022	7/31/2022	\$ 319.68	Accounting	1-612
Special District Management Services	Jul-22	7/31/2022	7/31/2022	\$ 479.52	Management / Accounting	3-612
Special District Management Services	Jul-22	7/31/2022	7/31/2022	\$ 1.60	Miscellaneous	1-685
Special District Management Services	Jul-22	7/31/2022	7/31/2022	\$ 266.40	District Management	3-614
Special District Management Services	Jul-22	7/31/2022	7/31/2022	\$ 177.60	Management	1-614
				\$51,635.82		

ACC Metropolitan District
August-22

	General	Debt	Capital	Totals
Disbursements	\$ 2,247.55		\$ 49,388.27	\$ 51,635.82
<u>Total Disbursements from Checking Acct</u>	<u>\$ 2,247.55</u>	<u>\$ -</u>	<u>\$ 49,388.27</u>	<u>\$ 51,635.82</u>

ACC Metropolitan District
September-22

Vendor	Invoice #	Date	Due Date	Amount	Expense Account	Account Number
Colorado Special Districts P&L	23WC-60034-0686	8/26/2022	8/26/2022	\$ 450.00	Prepaid Expenses	1-141
Concrete Express, Inc.	Pay App 19	7/6/2022	7/6/2022	\$61,982.00	Capital Outlay	3-790
Concrete Express, Inc.	Pay App 19	7/6/2022	7/6/2022	\$ (3,099.10)	Retainage Payable	3-318
Haynie & Company	D65901	7/31/2022	7/31/2022	\$ 1,000.00	Audit	1-615
Kumar & Associates, Inc.	214820	8/23/2022	8/23/2022	\$ 557.50	Engineering	3-784
Langan Engineering and Env. Svcs. Inc	LAN 0361680	8/16/2022	9/15/2022	\$ 1,284.92	Engineering	3-784
McGeady Becher P.C.	685W 07/2022	7/31/2022	7/31/2022	\$ 547.50	Legal	3-675
McGeady Becher P.C.	685W 07/2022	7/31/2022	7/31/2022	\$ 365.00	Legal	1-675
Special District Management Services	Aug-22	8/31/2022	8/31/2022	\$ 929.44	Accounting	1-612
Special District Management Services	Aug-22	8/31/2022	8/31/2022	\$ 1,394.16	Management / Accounting	3-612
Special District Management Services	Aug-22	8/31/2022	8/31/2022	\$ 4.80	Miscellaneous	1-685
Special District Management Services	Aug-22	8/31/2022	8/31/2022	\$ 237.84	District Management	3-614
Special District Management Services	Aug-22	8/31/2022	8/31/2022	\$ 158.56	Management	1-614
Union Pacific Railroad Company	90116413	6/10/2022	6/10/2022	\$ 2,410.74	Engineering	3-784
Zions Bank	Trust Fee- 2022	9/26/2022	9/26/2022	\$ 4,500.00	Paying Agent Fees	2-668

\$72,723.36

ACC Metropolitan District
September-22

	General	Debt	Capital	Totals
Disbursements	\$ 2,907.80	\$ 4,500.00	\$ 65,315.56	\$ 72,723.36
<u>Total Disbursements from Checking Acct</u>	<u>\$ 2,907.80</u>	<u>\$ 4,500.00</u>	<u>\$ 65,315.56</u>	<u>\$ 72,723.36</u>

ACC Metropolitan District
October-22

Vendor	Invoice #	Date	Due Date	Amount	Expense Account	Account Number
Aurora Media Group	103991	10/3/2022	10/19/2022	\$ 33.30	Miscellaneous	1-685
Colorado Special Districts P&L	23PL-60034-1213	9/6/2022	9/6/2022	\$ 2,076.00	Prepaid Expenses	1-141
Concrete Express, Inc.	Pay App 20	4/25/2022	4/25/2022	\$ 221,349.37	Capital Outlay	3-790
Concrete Express, Inc.	Pay App 20	4/25/2022	4/25/2022	\$ (11,067.47)	Retainage Payable	3-318
Concrete Express, Inc.	Pay App 21	5/25/2022	5/25/2022	\$ 834,562.50	Capital Outlay	3-790
Concrete Express, Inc.	Pay App 21	5/25/2022	5/25/2022	\$ (41,728.13)	Retainage Payable	3-318
Concrete Express, Inc.	Pay App 22	5/25/2022	5/25/2022	\$ 234,721.29	Capital Outlay	3-790
Concrete Express, Inc.	Pay App 22	5/25/2022	5/25/2022	\$ (12,262.90)	Retainage Payable	3-318
Concrete Express, Inc.	Pay App 23	6/25/2022	6/25/2022	\$ 27,174.05	Capital Outlay	3-790
Concrete Express, Inc.	Pay App 23	6/25/2022	6/25/2022	\$ (1,358.70)	Retainage Payable	3-318
Concrete Express, Inc.	Pay App 24	7/25/2022	7/25/2022	\$ 11,600.00	Capital Outlay	3-790
Concrete Express, Inc.	Pay App 24	7/25/2022	7/25/2022	\$ (580.00)	Retainage Payable	3-318
Haynie & Company	D66889	9/30/2022	9/30/2022	\$ 6,000.00	Audit	1-615
Independent District Engineering Services	28009	9/30/2022	9/30/2022	\$ 1,957.50	Professional Services	3-750
Independent District Engineering Services	28008	8/31/2022	8/31/2022	\$ 940.00	Professional Services	3-750
Kimley Horn and Associates, Inc.	096583002-0822	8/31/2022	8/31/2022	\$ 585.38	Engineering	3-784
Kimley Horn and Associates, Inc.	096583002-0922	9/30/2022	9/30/2022	\$ 7,265.00	Engineering	3-784
Langan Engineering and Env. Svcs. Inc	363865	9/14/2022	10/14/2022	\$ 3,025.62	Engineering	3-784
Matrix Design Group	37703	9/28/2022	10/19/2022	\$ 8,806.25	Engineering	3-784
McGeady Becher P.C.	685W 08/2022	8/31/2022	8/31/2022	\$ 662.58	Legal	3-675
McGeady Becher P.C.	685W 08/2022	8/31/2022	8/31/2022	\$ 441.72	Legal	1-675
RLI Surety	936030	10/19/2022	10/20/2022	\$ 250.00	Insurance/SDA Dues	1-670
Special District Management Services	Sep-22	9/30/2022	9/30/2022	\$ 568.32	Accounting	1-612
Special District Management Services	Sep-22	9/30/2022	9/30/2022	\$ 852.48	Management / Accounting	3-612
Special District Management Services	Sep-22	9/30/2022	9/30/2022	\$ 8.20	Miscellaneous	1-685
Special District Management Services	Sep-22	9/30/2022	9/30/2022	\$ 124.32	District Management	3-614
Special District Management Services	Sep-22	9/30/2022	9/30/2022	\$ 82.88	Management	1-614
T Charles Wilson Insurance	11474	9/28/2022	9/28/2022	\$ 495.00	Prepaid Expenses	1-141
				\$1,296,584.56		

ACC Metropolitan District
October-22

	General	Debt	Capital	Totals
Disbursements	\$ 9,955.42		\$ 1,286,629.14	\$ 1,296,584.56
<u>Total Disbursements from Checking Acct</u>	<u>\$ 9,955.42</u>	<u>\$ -</u>	<u>\$ 1,286,629.14</u>	<u>\$ 1,296,584.56</u>

ACC METROPOLITAN DISTRICT
Schedule of Cash Position
September 30, 2022

	<u>Rate</u>	<u>Operating</u>	<u>Debt Service</u>	<u>Capital Projects</u>	<u>Total</u>
Checking:					
Cash in Bank-FirstBank		\$ 113,559.12	\$ 501,808.20	\$ 1,241,470.21	\$ 1,856,837.53
Investments:					
Cash in Bank-ColoTrust	1.9730%	24.07	-	2,471.30	2,495.37
Trustee:					
Zion Bank Project Fund		-	10,848.09	-	10,848.09
Zion Bank Cap Interest Fund		-	0.51	-	0.51
Zion Bank Pledged Revenue		-	2.21	-	2.21
Zion Bank 2019A Loan Pymt Fund		-	459,915.26	-	459,915.26
Zion Bank 2019B Loan Pymt Fund		-	167,636.74	-	167,636.74
TOTAL FUNDS:		<u>\$ 113,583.19</u>	<u>\$ 1,140,211.01</u>	<u>\$ 1,243,941.51</u>	<u>\$ 2,497,735.71</u>

2022 Mill Levy Information

General Fund	3.388
Debt Service Fund	32.612
ARTA	<u>1.000</u>
Total	<u>37.000</u>

Board of Directors

* Julie von Clausburg
* John E. Strabel
Brenda Lamer

*authorized signer on checking account

ACC METROPOLITAN DISTRICT
FINANCIAL STATEMENTS
September 30, 2022

ACC METROPOLITAN DISTRICT
COMBINED BALANCE SHEET - ALL FUND TYPES AND ACCOUNT GROUPS
September 30, 2022

	<u>GENERAL</u>	<u>DEBT SERVICE</u>	<u>CAPITAL PROJECTS</u>	<u>FIXED ASSETS</u>	<u>LONG-TERM DEBT</u>	<u>TOTAL MEMO ONLY</u>
Assets						
Cash in Bank-FirstBank	\$ 113,559	\$ 501,808	\$ 1,241,470	\$ -	\$ -	\$ 1,856,838
Cash in Bank-ColoTrust	24	-	2,471	-	-	2,495
Zion Bank Project Fund	-	10,848	-	-	-	10,848
Zion Bank Cap Interest Fund	-	1	-	-	-	1
Zion Bank Pledged Revenue	-	2	-	-	-	2
Zion Bank 2019A Loan Pymt Fund	-	459,915	-	-	-	459,915
Zion Bank 2019B Loan Pymt Fund	-	167,637	-	-	-	167,637
Prepaid Expenses	450	-	-	-	-	450
Construction in progress	-	-	-	12,976,335	-	12,976,335
Total Current Assets	<u>114,033</u>	<u>1,140,211</u>	<u>1,243,942</u>	<u>12,976,335</u>	<u>-</u>	<u>15,474,521</u>
Other Debits						
Amount in Debt Service Fund	-	-	-	-	1,140,211	1,140,211
Amount to be Provided for Debt	-	-	-	-	18,820,815	18,820,815
Total Other Debits	<u>-</u>	<u>-</u>	<u>-</u>	<u>-</u>	<u>19,961,026</u>	<u>19,961,026</u>
Total Assets	<u>\$ 114,033</u>	<u>\$ 1,140,211</u>	<u>\$ 1,243,942</u>	<u>\$ 12,976,335</u>	<u>\$ 19,961,026</u>	<u>\$ 35,435,547</u>
Liabilities						
Retainage Payable	\$ -	\$ -	\$ 154,791	\$ -	\$ -	\$ 154,791
Series 2019A Loan	-	-	-	-	9,750,000	9,750,000
Series 2019B Loan	-	-	-	-	4,735,673	4,735,673
Operational Funding-Due Dev	-	-	-	-	71,312	71,312
Capital Funding-Due Developer	-	-	-	-	4,606,898	4,606,898
Operational-Developer Adv Int	-	-	-	-	23,535	23,535
Capital-Developer Adv Interest	-	-	-	-	773,608	773,608
Total Liabilities	<u>-</u>	<u>-</u>	<u>154,791</u>	<u>-</u>	<u>19,961,026</u>	<u>20,115,817</u>
Fund Balance						
Investment in Fixed Assets	-	-	-	12,976,335	-	12,976,335
Fund Balance	47,360	492,592	2,090,562	-	-	2,630,513
Current Year Earnings	66,674	647,619	(1,001,411)	-	-	(287,118)
Total Fund Balances	<u>114,033</u>	<u>1,140,211</u>	<u>1,089,151</u>	<u>12,976,335</u>	<u>-</u>	<u>15,319,730</u>
Total Liabilities, Deferred Inflows of Resources and Fund Balance	<u>\$ 114,033</u>	<u>\$ 1,140,211</u>	<u>\$ 1,243,942</u>	<u>\$ 12,976,335</u>	<u>\$ 19,961,026</u>	<u>\$ 35,435,547</u>

ACC METROPOLITAN DISTRICT
Statement of Revenues, Expenditures and Changes in Fund Balance - Budget and Actual
For the 9 Months Ending
September 30, 2022
General Fund

<u>Account Description</u>	<u>Period Actual</u>	<u>YTD Actual</u>	<u>Budget</u>	<u>Favorable (Unfavorable) Variance</u>	<u>% of Budget</u>
Revenues					
Property Tax Revenue	\$ -	\$ 85,259	\$ 85,259	\$ 0	100.0%
Specific Ownership Taxes	854	1,633	2,200	(567)	74.2%
Total Revenues	<u>854</u>	<u>86,892</u>	<u>87,459</u>	<u>(567)</u>	<u>99.4%</u>
Expenditures					
Accounting	1,604	3,759	11,000	7,241	34.2%
District Management	688	1,689	15,000	13,311	11.3%
Audit	1,000	1,000	7,000	6,000	14.3%
Insurance/SDA Dues	-	3,283	4,000	717	82.1%
Legal	2,987	7,620	15,000	7,380	50.8%
Election	15	743	3,000	2,257	0.25%
Miscellaneous	236	846	2,000	1,154	42.3%
Treasurer's Fees	-	1,279	1,279	0	100.0%
Emergency Reserve	-	-	2,624	2,624	0.0%
Total Expenditures	<u>6,530</u>	<u>20,219</u>	<u>60,903</u>	<u>40,684</u>	<u>33.2%</u>
Excess (Deficiency) of Revenues Over Expenditures	(5,676)	66,674	26,556	40,119	
Beginning Fund Balance	119,710	47,360	24,295	23,065	
Ending Fund Balance	<u>\$ 114,033</u>	<u>\$ 114,033</u>	<u>\$ 50,851</u>	<u>\$ 63,183</u>	

ACC METROPOLITAN DISTRICT
Statement of Revenues, Expenditures and Changes in Fund Balance - Budget and Actual
For the 9 Months Ending
September 30, 2022
Debt Service Fund

<u>Account Description</u>	<u>Period Actual</u>	<u>YTD Actual</u>	<u>Budget</u>	<u>Favorable (Unfavorable) Variance</u>	<u>% of Budget</u>
Revenues					
Property Tax Revenue	\$ -	\$ 820,683	\$ 820,684	\$ (1)	100.0%
Specific ownership tax	8,469	16,200	25,000	(8,800)	64.8%
ARTA Revenue	-	25,165	25,165	0	100.0%
Interest Income	1,749	1,848	25	1,823	7390.9%
Total Revenues	<u>10,218</u>	<u>863,896</u>	<u>870,874</u>	<u>(6,978)</u>	<u>99.2%</u>
Expenditures					
Note Principal	-	-	40,000	40,000	0.0%
Note Interest	-	194,848	365,756	170,908	53.3%
ARTA - one mill levy	-	377	-	(377)	-
Paying Agent Fees	4,500	8,741	8,000	(741)	109.3%
Treasurer's Fees	-	12,310	12,310	(0)	100.0%
Total Expenditures	<u>4,500</u>	<u>216,276</u>	<u>447,066</u>	<u>230,790</u>	<u>48.4%</u>
Excess (Deficiency) of Revenues Over Expenditures	5,718	647,619	423,808	223,811	
Beginning Fund Balance	1,134,493	492,592	763,907	(271,315)	
Ending Fund Balance	<u>\$ 1,140,211</u>	<u>\$ 1,140,211</u>	<u>\$ 1,187,715</u>	<u>\$ (47,504)</u>	

ACC METROPOLITAN DISTRICT
Statement of Revenues, Expenditures and Changes in Fund Balance - Budget and Actual
For the 9 Months Ending
September 30, 2022
Capital Projects Fund

<u>Account Description</u>	<u>Period Actual</u>	<u>YTD Actual</u>	<u>Budget</u>	<u>Favorable (Unfavorable) Variance</u>	<u>% of Budget</u>
Revenues					
Interest Income	\$ 10	\$ 12	\$ -	\$ 12	0.0%
2019A Loan Proceeds	-	-	575,060	(575,060)	0.0%
Total Revenues	<u>10</u>	<u>12</u>	<u>575,060</u>	<u>(575,048)</u>	<u>0.0%</u>
Expenditures					
Management / Accounting	2,406	5,639	6,000	361	94.0%
District Management	1,031	2,533	9,000	6,467	28.1%
Legal	4,481	11,430	15,000	3,570	76.2%
Professional Services	1,080	1,080	15,000	13,920	7.2%
Engineering	51,865	162,193	600,000	437,807	27.0%
Capital Outlay	61,982	818,548	1,487,996	669,448	55.0%
Contingency	-	-	100,000	100,000	0.0%
Total Expenditures	<u>122,846</u>	<u>1,001,423</u>	<u>2,232,996</u>	<u>1,231,573</u>	<u>44.8%</u>
Excess (Deficiency) of Revenues Over Expenditures	(122,836)	(1,001,411)	(1,657,936)	656,525	
Beginning Fund Balance	1,211,986	2,090,562	1,657,936	432,626	
Ending Fund Balance	<u>\$ 1,089,151</u>	<u>\$ 1,089,151</u>	<u>\$ -</u>	<u>\$ 1,089,151</u>	

ACC Metropolitan District

Annual Financial Report

December 31, 2021





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Independent Auditor's Report

To the Board of Directors
ACC Metropolitan District
Arapahoe County, Colorado

Opinions

We have audited the accompanying financial statements of the governmental activities and the major funds of ACC Metropolitan District (the "District") as of and for the year ended December 31, 2021 and the related notes to the financial statements, which collectively comprise the District's basic financial statements as listed in the table of contents.

In our opinion, the financial statements referred to above present fairly, in all material respects, the respective financial position of the governmental activities and the major funds of the District, as of December 31, 2021 and the respective changes in financial position and the budgetary comparison for the General Fund, for the year then ended in accordance with accounting principles generally accepted in the United States of America.

Basis for Opinions

We conducted our audit in accordance with auditing standards generally accepted in the United States of America. Our responsibilities under those standards are further described in the Auditor's Responsibilities for the Audit of the Financial Statements section of our report. We are required to be independent of the District and to meet our other ethical responsibilities in accordance with the relevant ethical requirements relating to our audit. We believe that the audit evidence we have obtained is sufficient and appropriate to provide a basis for our audit opinion.

Responsibilities of Management for the Financial Statements

Management is responsible for the preparation and fair presentation of the financial statements in accordance with accounting principles generally accepted in the United States of America, and for the design, implementation, and maintenance of internal control relevant to the preparation and fair presentation of financial statements that are free from material misstatement, whether due to fraud or error.

In preparing the financial statements, management is required to evaluate whether there are conditions or events, considered in the aggregate, that raise substantial doubt about the District's ability to continue as a going concern for twelve months beyond the financial statement date, including any currently known information that may raise substantial doubt shortly thereafter.

Auditor's Responsibilities for the Audit of the Financial Statements

Our objectives are to obtain reasonable assurance about whether the financial statements as a whole are free from material misstatement, whether due to fraud or error, and to issue an auditor's report that includes our opinion. Reasonable assurance is a high level of assurance but is not absolute assurance and therefore is not a guarantee that an audit conducted in accordance with generally accepted auditing standards will always detect a material misstatement when it exists. The risk of not detecting a material misstatement resulting from fraud is higher than for one resulting from error, as fraud may involve collusion, forgery, intentional omissions, misrepresentations, or the override of internal control. Misstatements are considered material if



there is a substantial likelihood that, individually or in the aggregate, they would influence the judgment made by a reasonable user based on the financial statements.

In performing an audit in accordance with generally accepted auditing standards, we:

- Exercise professional judgment and maintain professional skepticism throughout the audit.
- Identify and assess the risks of material misstatement of the financial statements, whether due to fraud or error, and design and perform audit procedures responsive to those risks. Such procedures include examining, on a test basis, evidence regarding the amounts and disclosures in the financial statements.
- Obtain an understanding of internal control relevant to the audit in order to design audit procedures that are appropriate in the circumstances, but not for the purpose of expressing an opinion on the effectiveness of the District's internal control. Accordingly, no such opinion is expressed.
- Evaluate the appropriateness of accounting policies used and the reasonableness of significant accounting estimates made by management, as well as evaluate the overall presentation of the financial statements.
- Conclude whether, in our judgment, there are conditions or events, considered in the aggregate, that raise substantial doubt about the District's ability to continue as a going concern for a reasonable period of time.

We are required to communicate with those charged with governance regarding, among other matters, the planned scope and timing of the audit, significant audit findings, and certain internal control-related matters that we identified during the audit.

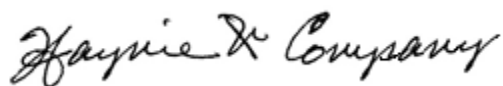
Required Supplementary Information

Management has omitted the management's discussion and analysis that accounting principles generally accepted in the United States of America require to be presented to supplement the basic financial statements. Such missing information, although not a part of the basic financial statements, is required by the Governmental Accounting Standards Board, who considers it to be an essential part of financial reporting for placing the basic financial statements in an appropriate operational, economic, or historical context. Our opinion on the basic financial statements is not affected by this missing information.

Supplementary Information

Our audit was conducted for the purpose of forming opinions on the financial statements that collectively comprise the District's basic financial statements. The supplementary information section is presented for purposes of additional analysis and is not a required part of the financial statements.

The supplementary information, as listed in the table of contents, is the responsibility of management and was derived from and relates directly to the underlying accounting and other records used to prepare the basic financial statements. The information has been subjected to the auditing procedures applied in the audit of the basic financial statements and certain additional procedures, including comparing and reconciling such information directly to the underlying accounting and other records used to prepare the basic financial statements or to the basic financial statements themselves, and other additional procedures in accordance with auditing standards generally accepted in the United States of America. In our opinion, the supplementary information, as listed in the table of contents, are fairly stated, in all material respects, in relation to the basic financial statements as a whole.



Littleton, Colorado
September 30, 2022

Basic Financial Statements

ACC Metropolitan District
Balance Sheet/Statement of Net Position
Governmental Funds
December 31, 2021

Assets	General Fund	Debt Service Fund	Capital Projects Fund	Total Governmental Funds	Adjustments	Statement of Net Position
Cash and investments	\$ 45,235	\$ -	\$ -	\$ 45,235	\$ -	\$ 45,235
Cash and investments - restricted	-	506,734	2,665,073	3,171,807	-	3,171,807
Property taxes receivable	85,259	845,849	-	931,108	-	931,108
Receivable - County Treasurer	202	2,008	-	2,210	-	2,210
Prepaid expenses	2,973	-	-	2,973	-	2,973
Capital assets, not being depreciated	-	-	-	-	12,976,335	12,976,335
Total assets	<u>\$ 133,669</u>	<u>\$ 1,354,591</u>	<u>\$ 2,665,073</u>	<u>\$ 4,153,333</u>	<u>\$ 12,976,335</u>	<u>\$ 17,129,668</u>
Liabilities						
Accounts payable	\$ 1,050	\$ 16,150	\$ 460,649	\$ 477,849	\$ -	\$ 477,849
Retainage payable	-	-	113,862	113,862	-	113,862
Long-term liabilities - due in more than a year						
Due within one year	-	-	-	-	110,000	110,000
Developer advances payable	-	-	-	-	4,678,209	4,678,209
Developer advances interest payable	-	-	-	-	517,220	517,220
Note payable	-	-	-	-	14,375,673	14,375,673
Total liabilities	<u>1,050</u>	<u>16,150</u>	<u>574,511</u>	<u>591,711</u>	<u>19,681,102</u>	<u>20,272,813</u>
Deferred Inflows of Resources						
Deferred property tax revenue	85,259	845,849	-	931,108	-	931,108
Total deferred inflows of resources	<u>85,259</u>	<u>845,849</u>	<u>-</u>	<u>931,108</u>	<u>-</u>	<u>931,108</u>
Fund Balances						
Nonspendable:						
Prepaid expense	2,973	-	-	2,973	(2,973)	-
Restricted:						
Emergency reserves	1,748	-	-	1,748	(1,748)	-
Debt service	-	492,592	-	492,592	(492,592)	-
Capital projects	-	-	2,090,562	2,090,562	(2,090,562)	-
Unassigned	42,639	-	-	42,639	(42,639)	-
Total Fund Balances	<u>47,360</u>	<u>492,592</u>	<u>2,090,562</u>	<u>2,630,514</u>	<u>(2,630,514)</u>	<u>-</u>
Total Liabilities, Fund Balance and Deferred Inflows of Resources	<u>\$ 133,669</u>	<u>\$ 1,354,591</u>	<u>\$ 2,665,073</u>	<u>\$ 4,153,333</u>		
Net Position:						
Net investment in capital assets						(2,967,684)
Restricted for:						
Emergency reserves						1,748
Unrestricted						(1,108,317)
Total Net Position						<u>\$ (4,074,253)</u>

The accompanying notes are an integral part of these financial statements.

ACC Metropolitan District
Statement of Revenues, Expenditures and
Changes in Fund Balances/Statement of Activities
Governmental Funds
For the Year Ended December 31, 2021

	General	Debt Service	Capital Projects	Total Governmental Funds	Adjustments	Statement of Activities
Revenues						
Property taxes	\$ 55,549	\$ 534,699	\$ -	\$ 590,248	\$ -	\$ 590,248
Specific ownership taxes	2,710	26,881	-	29,591	-	29,591
ARTA revenue	-	16,395	-	16,395	-	16,395
Interest income	-	18	-	18	-	18
Total Revenues	<u>58,259</u>	<u>577,993</u>	<u>-</u>	<u>636,252</u>	<u>-</u>	<u>636,252</u>
Expenditures						
Accounting	6,356	-	9,534	15,890	-	15,890
Audit	5,000	-	-	5,000	-	5,000
District Management	3,187	-	4,780	7,967	-	7,967
Insurance/SDA Dues	3,319	-	-	3,319	-	3,319
Legal	8,948	-	13,376	22,324	-	22,324
Miscellaneous	2,135	-	-	2,135	-	2,135
County Treasurer's fees	833	8,020	-	8,853	-	8,853
ARTA - one mill levy	-	16,396	-	16,396	-	16,396
Paying agent/trustee fees	-	12,243	-	12,243	-	12,243
Engineering	-	-	325,669	325,669	(325,669)	-
Other professional services	-	-	2,574	2,574	-	2,574
Note principal	-	220,000	-	220,000	(220,000)	-
Note interest	-	309,538	-	309,538	407,149	716,687
Issuance costs	-	105,613	-	105,613	-	105,613
Developer advance reimbursement	-	-	1,560,000	1,560,000	(1,560,000)	-
Capital outlay	-	-	3,859,441	3,859,441	(3,859,441)	-
Total Expenditures	<u>29,778</u>	<u>671,810</u>	<u>5,775,374</u>	<u>6,476,962</u>	<u>(5,557,961)</u>	<u>919,001</u>
Excess of revenues over (under) expenditures	28,481	(93,817)	(5,775,374)	(5,840,710)	5,840,710	-
Other financing sources (uses)						
Loan proceeds	-	4,805,673	375,000	5,180,673	(5,180,673)	-
Developer advance proceeds	-	-	508,910	508,910	(508,910)	-
Transfer from (to) other funds	-	(4,700,060)	4,700,060	-	-	-
Total other financing sources (uses)	<u>-</u>	<u>105,613</u>	<u>5,583,970</u>	<u>5,689,583</u>	<u>(5,689,583)</u>	<u>-</u>
Net change in fund balances	28,481	11,796	(191,404)	(151,127)	151,127	-
Change in Net Position					(282,749)	(282,749)
Fund balances/Net position:						
Beginning of the year	<u>18,879</u>	<u>480,796</u>	<u>2,281,966</u>	<u>2,781,641</u>	<u>(6,573,145)</u>	<u>(3,791,504)</u>
End of the year	<u>\$ 47,360</u>	<u>\$ 492,592</u>	<u>\$ 2,090,562</u>	<u>\$ 2,630,514</u>	<u>\$ (6,855,894)</u>	<u>\$ (4,074,253)</u>

The accompanying notes are an integral part of these financial statements.

ACC Metropolitan District
Statement of Revenues, Expenditures
and Change in Fund Balance—Actual and Budget
Governmental Fund Type—General Fund
For the Year Ended December 31, 2021

	<u>Original Budget</u>	<u>Final Budget</u>	<u>Actual</u>	<u>Variance Favorable (Unfavorable)</u>
Revenues				
Property taxes	\$ 55,549	\$ 55,549	\$ 55,549	\$ -
Specific ownership taxes	2,200	2,200	2,710	510
Total Revenues	<u>57,749</u>	<u>57,749</u>	<u>58,259</u>	<u>510</u>
Expenditures				
Accounting	11,000	11,000	6,356	4,644
Audit	4,750	4,750	5,000	(250)
District management	15,000	15,000	3,187	11,813
Insurance/SDA Dues	4,000	4,000	3,319	681
Legal	15,000	15,000	8,948	6,052
Miscellaneous	1,500	7,684	2,135	5,549
County Treasurer's fees	833	833	833	-
Total Expenditures	<u>52,083</u>	<u>58,267</u>	<u>29,778</u>	<u>28,489</u>
Excess Revenue Over (Under)				
Expenditures	<u>5,666</u>	<u>(518)</u>	<u>28,481</u>	<u>28,999</u>
Other financing sources (uses)				
Interfund transfers (Emergency Reserve)	<u>1,732</u>	<u>1,732</u>	<u>-</u>	<u>(1,732)</u>
Total other financing sources (uses)	<u>1,732</u>	<u>1,732</u>	<u>-</u>	<u>(1,732)</u>
Net change in fund balance	7,398	1,214	28,481	27,267
Fund Balance—Beginning of year	<u>2,806</u>	<u>2,806</u>	<u>18,879</u>	<u>16,073</u>
Fund Balance—End of Year	<u>\$ 10,204</u>	<u>\$ 4,020</u>	<u>\$ 47,360</u>	<u>\$ 43,340</u>

The accompanying notes are an integral part of these financial statements.

ACC Metropolitan District

Notes to Financial Statements

December 31, 2021

1. Definition of Reporting Entity

ACC Metropolitan District (the District), a quasi-municipal corporation and political subdivision of the State of Colorado, was organized on November 12, 2003, as a quasi-municipal organization established under the State of Colorado Special District Act. A First Amended and Restated Service Plan was approved by the City of Aurora (the "City") on August 22, 2011 and was additionally amended on May 21, 2018. The District's service area is located in Adams County, Colorado. The District was established to finance and construct streets, water systems, sanitary sewer, parks and recreation, and other public infrastructure improvements that benefit the citizens of the District. The District's primary revenues are property taxes. The District is governed by an elected Board of Directors.

As required by GAAP, these financial statements present the activities of the District, which is legally separate and financially independent of other state and local governments. The District follows the GASB pronouncements which provide guidance for determining which governmental activities, organizations and functions should be included within the financial reporting entity. GASB sets forth the financial accountability of a governmental organization's elected governing body as the basic criterion for including a possible component governmental organization in a primary government's legal entity. Financial accountability includes, but is not limited to, appointment of a voting majority of the organization's governing body, ability to impose its will on the organization, a potential for the organization to provide specific financial benefits or burdens and fiscal dependency. The pronouncements also require including a possible component unit if it would be misleading to exclude it.

The District is not financially accountable for any other organization. The District has no component units as defined by the GASB.

The District has no employees, and all operations and administrative functions are contracted.

2. Summary of Significant Accounting Policies

The more significant accounting policies of the District are described as follows:

Government-wide and Fund Financial Statements

The government-wide financial statements include the statement of net position and the statement of activities. These financial statements include all of the activities of the District. For the most part, the effect of interfund activity has been removed from these statements. Governmental activities are normally supported by property taxes.

The statement of net position reports all financial and capital resources of the District. The difference between the assets and liabilities of the District is reported as net position.

ACC Metropolitan District
Notes to Financial Statements (continued)
December 31, 2021

2. Summary of Significant Accounting Policies (continued)

The statement of activities demonstrates the degree to which the direct expenses of a given function or segment are offset by program revenues. Direct expenses are those that are clearly identifiable with a specific function or segment. Program revenues include 1) charges to customers or applicants who purchase, use, or directly benefit from goods, services or privileges provided by a given function or segment, and 2) grants and contributions that are restricted to meeting the operational or capital requirements of a particular function or segment. Taxes and other items not properly included among program revenues are reported instead as general revenues.

Separate financial statements are provided for the governmental funds. Major individual governmental funds are reported as separate columns in the financial statements.

Measurement Focus, Basis of Accounting, and Financial Statement Presentation

The government-wide financial statements are reported using the economic resources measurement focus and the accrual basis of accounting. Revenues are recorded when earned and expenses are recorded when a liability is incurred, regardless of the timing of related cash flows. Property taxes are recognized as revenues in the year for which they are collected.

Governmental fund financial statements are reported using the *current financial resources measurement focus* and the *modified accrual basis of accounting*. Revenues are recognized as soon as they are both measurable and available. Revenues are recognized as soon as they are both measurable and available. Revenues are considered to be *available* when they are collectible within the current period or soon enough thereafter to pay liabilities of the current period. For this purpose, the District considers revenues to be available if they are collected within 60 days of the end of the current fiscal period. The material sources of revenue subject to accrual are property taxes and interest. Expenditures, other than interest on long-term obligations, are recorded when the liability is incurred or the long-term obligation is paid.

The District reports the following major governmental funds:

The General Fund is the District's primary operating fund. It accounts for all financial resources of the general government, except those required to be accounted for in another fund.

The Debt Service Fund accounts for the resources accumulated and payments made for principal and interest on long-term general obligation debt of the governmental funds.

The Capital Projects Fund accounts for all financial resources that are restricted, committed or assigned to expenditures for capital outlays, including the acquisition or construction of capital facilities and other assets.

ACC Metropolitan District
Notes to Financial Statements (continued)
December 31, 2021

2. Summary of Significant Accounting Policies (continued)

Budgetary Accounting

In accordance with the State Budget Law of Colorado, the District's Board of Directors holds public hearings in the fall of each year to approve the budget and appropriate the funds for the ensuing year. The District's Board of Directors can modify the budget by line item within the total appropriation without notification. The appropriation can only be modified upon completion of notification and publication requirements. The budget includes each fund on its basis of accounting unless otherwise indicated. The appropriation is at the total fund expenditures level and lapses at year end.

Actual expenditures for the year ended December 31, 2021, in the Debt Service Fund exceeded budgeted appropriations which may be a violation of State statutes.

Assets, Liabilities, Deferred Outflows/Inflows of Resources and Net Position Fair Value of Financial Instruments

The District's financial instruments include cash and cash equivalents, accounts receivable and accounts payable. The District estimates that the fair value of all financial instruments at December 31, 2021, does not differ materially from the aggregate carrying values of its financial instruments recorded in the accompanying balance sheet. The carrying amount of these financial instruments approximates fair value because of the short maturity of these instruments.

Deposits and Investments

The District's cash and cash equivalents are considered to be cash on hand and short-term investments with maturities of three months or less from the date of acquisition. Investments for the government are reported at fair value

Pooled Cash and Investments

The District follows the practice of pooling cash and investments of all funds to maximize investment earnings. Except when required by trust or other agreements, all cash is deposited to and disbursed from a minimum number of bank accounts. Cash in excess of immediate operating requirements is pooled for deposit and investment flexibility. Investment earnings are allocated periodically to the participating funds based upon each fund's average equity balance in the total cash.

Estimates

The preparation of these financial statements in conformity with GAAP requires the District management to make estimates and assumptions that affect certain reported amounts and disclosures. Accordingly, actual results could differ from those estimates.

ACC Metropolitan District
Notes to Financial Statements (continued)
December 31, 2021

2. Summary of Significant Accounting Policies (continued)

Deferred Outflows/Inflows of Resources

In addition to assets, the statement of financial position will sometimes report a separate section for deferred outflows of resources. This separate financial statement element, *deferred outflows of resources*, represents a consumption of net position that applies to a future period(s) and so will not be recognized as an outflow of resources (expense/expenditure) until then. The District has no items that qualify for reporting in this category.

In addition to liabilities, the statement of financial position will sometimes report a separate section for deferred inflows of resources. This separate financial statement element, *deferred inflows of resources*, represents an acquisition of net position that applies to a future period(s) and so will not be recognized as an inflow of resources (revenue) until that time. The District only has one item that qualifies for reporting in this category: Deferred property taxes are deferred and recognized as an inflow of resources in the period that the amounts become available.

Capital Assets

Capital assets, which include property, plant, equipment and infrastructure assets (e.g., roads, bridges, sidewalks, and similar items), are reported in the applicable governmental activities columns in the government-wide financial statements. Capital assets are defined by the District as assets with an initial, individual cost of more than \$5,000 and an estimated useful life in excess of two years. Such assets are recorded at historical or estimated historical cost if purchased or constructed. Donated capital assets are recorded at estimated fair value at the date of donation.

The costs of normal maintenance and repairs that do not add to the value of the assets or materially extend the life of the asset are not capitalized. Improvements are capitalized and depreciated over the remaining useful lives of the related capital assets, as applicable using the straight-line method. Depreciation on property that will remain assets of the District is reported on the Statement of Activities as a current charge. Improvements that will be conveyed to other governmental entities are classified as construction in progress and are not depreciated. Land and certain landscaping improvements are not depreciated.

Long-Term Obligations

In the government-wide financial statements, long-term debt and other long-term obligations are reported as liabilities in the applicable governmental activities.

Property Taxes

Property taxes are levied by the District's Board of Directors. The levy is based on assessed valuations determined by the County Assessor generally as of January 1 of each year. The levy is normally set by December 15 by certification to the County Commissioners to put the tax lien on the individual properties as of January 1 of the following year. The County Treasurer collects the determined taxes during the ensuing calendar year. The taxes are payable in April

ACC Metropolitan District
Notes to Financial Statements (continued)
December 31, 2021

2. Summary of Significant Accounting Policies (continued)

or if in equal installments, at the taxpayers' election, in February and June. Delinquent taxpayers are notified in July or August and the sales of the resultant tax liens on delinquent properties are generally held in November or December. The County Treasurer remits the taxes collected monthly to the District.

Property taxes, net of estimated uncollectible taxes, are recorded initially as deferred inflows in the year they are levied and measurable since they are not normally available nor are they budgeted as a resource until the subsequent year. The deferred property taxes are recorded as revenue in the subsequent year when they are available or collected.

Fund Equity

Fund balance of governmental funds is reported in various categories based on the nature of any limitations requiring the use of resources for specific purposes. Because circumstances differ among governments, not every government or every governmental fund will present all of these components. The following classifications make the nature and extent of the constraints placed on a government's fund balance more transparent.

The following classifications describe the relative strength of the spending constraints:

- *Nonspendable fund balance* - The portion of fund balance that cannot be spent because it is either not in spendable form (such as prepaid amounts or inventory) or legally or contractually required to be maintained intact.
- *Restricted fund balance* - The portion of fund balance that is constrained to being used for a specific purpose by external parties (such as bondholders), constitutional provisions, or enabling legislation.
- *Committed fund balance* - The portion of fund balance that can only be used for specific purposes pursuant to constraints imposed by formal action of the government's highest level of decision-making authority, the Board of Directors. The constraint may be removed or changed only through formal action of the Board of Directors.
- *Assigned fund balance* - The portion of fund balance that is constrained by the government's intent to be used for specific purposes, but is neither restricted nor committed. Intent is expressed by the Board of Directors to be used for a specific purpose. Constraints imposed on the use of assigned amounts are more easily removed or modified than those imposed on amounts that are classified as committed.
- *Unassigned fund balance* - The residual portion of fund balance that does not meet any of the criteria described above. If more than one classification of fund balance is available for use when an expenditure is incurred, it is the District's policy to use the most restrictive classification first.

ACC Metropolitan District
Notes to Financial Statements (continued)
December 31, 2021

2. Summary of Significant Accounting Policies (continued)

If more than one classification of fund balances is available for use when an expenditure is incurred, it is the District's practice to use the most restrictive classification first.

Net Position

For government-wide presentation purposes when both restricted and unrestricted resources are available for use, it is the District's practice to use restricted resources first, then unrestricted resources as they are needed.

In the government-wide financial statements, fund equity is classified as net position. Net position may be classified into three components: net investment in capital assets, restricted and unrestricted. These classifications are defined as follows:

- *Net Investment in Capital Assets:* This component of net position consist of capital assets, net of accumulated depreciation, and reduced by the outstanding balances of any debt that is attributable to the acquisition, construction, or improvement of those assets. If there are significant unspent debt proceeds at year-end, the portion of the debt attributable to the unspent proceeds is not included in this component. As of 12/31/2021, the net inverment in capital assets is \$(2,967,684).
- *Restricted Fund Balances:* The restricted fund balance in the General Fund represents Emergency Reserves that have been provided as required by Article X, Section 20 of the Constitution of the State of Colorado. A total of \$1,748 of the General Fund balance has been restricted in compliance with this requirement. The restricted fund balance in the Debt Service Fund in the amount of \$492,592 is restricted for the payment of the costs associated with the Series 2019A and 2019B loan (See Note 5). The restricted fund balance in the Capital Projects Fund in the amount of \$2,090,562 is restricted for the payment of costs related to capital improvements within the District.
- *Unrestricted:* The component of net position that does not meet the definitions above.

3. Cash and Investments

Cash and investments as of December 31, 2021 are classified in the accompanying financial statements as follows:

Statement of net position:

Cash and investments	\$ 45,235
Cash and investments—Restricted	<u>3,171,807</u>
Total cash and investments	<u>\$ 3,217,042</u>

ACC Metropolitan District
Notes to Financial Statements (continued)
December 31, 2021

3. Cash and Investments (continued)

Cash and investments as of December 31, 2021 consist of the following:

Deposits with financial institutions	\$ 3,214,560
Investments - COLOTRUST	<u>2,482</u>
Total cash and investments	<u>\$ 3,217,042</u>

Deposits: Custodial Credit Risk

The Colorado Public Deposit Protection Act, (“PDPA”) requires that all units of local government deposit cash in eligible public depositories. State regulators determine eligibility. Amounts on deposit in excess of federal insurance levels must be collateralized. The eligible collateral is determined by the PDPA. PDPA allows the institution to create a single collateral pool for all public funds. The pool is to be maintained by another institution, or held in trust for all the uninsured public deposits as a group. The market value of the collateral must be at least equal to 102% of the aggregate uninsured deposits. The State Commissioners for banks and financial services are required by statute to monitor the naming of eligible depositories and reporting of the uninsured deposits and assets maintained in the collateral pools.

As of December 31, 2021, the District’s cash deposits had a carrying balance of \$3,214,560 and bank balance of \$3,214,559.

Investments

The District categorizes its fair value measurements within the fair value hierarchy established by generally accepted accounting principles. The hierarchy is based on the valuation inputs used to measure the fair value of the asset. Level 1 inputs are quoted prices in active markets for identical assets; Level 2 inputs are significant other observable inputs; Level 3 inputs are significant unobservable inputs. The District’s investment is not required to be categorized within the fair value hierarchy. This investment’s value is calculated using the net asset value (“NAV”) per share.

Credit Risk

The District’s investment policy requires that the District follow state statutes for investments. Colorado statutes specify the types of investments meeting defined rating and risk criteria in which local governments may invest. These investments include obligations of the United States and certain U.S. Government agency entities, certain money market funds, guaranteed investment contracts, and local government investment pools.

Custodial and Concentration of Credit Risk

None of the District’s investments are subject to custodial or concentration of credit risk.

ACC Metropolitan District
Notes to Financial Statements (continued)
December 31, 2021

3. Cash and Investments (continued)

Interest Rate Risk

Colorado revised statutes limit investment maturities to five years or less unless formally approved by the Board of Directors.

Colorado statutes specify investment instruments meeting defined rating and risk criteria in which local governments may invest which include:

- obligations of the United States and certain U.S. government agency securities,
- certain international agency securities,
- general obligation and revenue bonds of U.S. local government entities,
- bankers' acceptances of certain banks,
- commercial paper,
- written repurchase agreements collateralized by certain authorized securities,
- certain money market funds,
- guaranteed investment contracts, and
- * local government investment pools.

COLOTRUST

The local government investment pool, Colorado Local Government Liquid Asset Trust (“COLOTRUST”) is rated AAAM by Standard & Poor’s with a weighted average maturity of under 60 days. COLOTRUST is an investment trust/joint venture established for local government entities in Colorado to pool surplus funds. The State Securities Commissioner administers and enforces all State statutes governing the COLOTRUST. COLOTRUST records its investments at fair value and the District records its investment in COLOTRUST using the net asset value method. COLOTRUST operates similarly to a money market fund with each share maintaining a value of \$1.00. There are not unfunded commitments, the redemption period frequency is daily, and there is no redemption period. COLOTRUST offers shares in two portfolios, COLOTRUST PRIME and COLOTRUST PLUS+. Both investments consist of U.S. Treasury bills and notes and repurchase agreements collateralized by U.S. Treasury securities. COLOTRUST PLUS+ may also invest in certain obligations of U.S. government agencies, highest rated commercial paper and repurchase agreements collateralized by certain obligations of U.S. government agencies. Designated custodian banks provide safekeeping and depository services to COLOTRUST. Substantially all securities owned by COLOTRUST are held by the Federal Reserve Bank in the accounts maintained for the custodian banks. The custodians’ internal records identify the investments owned by COLOTRUST. At December 31, 2021, the District had \$2,482 invested in COLOTRUST.

ACC Metropolitan District
Notes to Financial Statements (continued)
December 31, 2021

4. Capital Assets

The following table presents capital assets activity of the District for the year ended December 31, 2021:

<u>Governmental Type Activities:</u>	<u>Balance 1/1/2021</u>	<u>Additions</u>	<u>Deletions</u>	<u>Balance 12/31/2021</u>
Capital assets not being depreciated:				
Construction in progress	<u>\$ 8,791,225</u>	<u>\$ 4,185,110</u>	<u>\$ -</u>	<u>\$12,976,335</u>

5. Long-Term Obligations

The following is an analysis of changes in the District's long-term debt for the year ended December 31, 2021:

	<u>Balance December 31, 2020</u>	<u>Additions</u>	<u>Reductions</u>	<u>Balance December 31, 2021</u>	<u>Due Within One Year</u>
Loans payable					
Series 2019A Loan	\$ 9,525,000	\$ 375,000	\$ 150,000	\$ 9,750,000	\$ 110,000
Series 2019B Loan	-	4,805,673	70,000	4,735,673	-
Subtotal loans payable	<u>9,525,000</u>	<u>5,180,673</u>	<u>220,000</u>	<u>14,485,673</u>	<u>110,000</u>
Developer advances:					
Facilities Funding:					
Capital - principal	5,657,987	508,910	1,560,000	4,606,897	-
Capital - interest	70,686	427,266	-	497,952	-
Operation Funding					
General - principal	71,312	-	-	71,312	-
General - interest	13,563	5,705	-	19,268	-
Subtotal developer advances:	<u>5,813,548</u>	<u>941,881</u>	<u>1,560,000</u>	<u>5,195,429</u>	<u>-</u>
Total	<u>\$ 15,338,548</u>	<u>\$ 6,122,554</u>	<u>\$ 1,780,000</u>	<u>\$ 19,681,102</u>	<u>\$ 110,000</u>

A description of the District's long-term obligations as of December 31, 2021 is as follows:

Loans Payable

Series 2019A & Series 2019B Loan Agreements

On September 26, 2019, the District entered into two loan agreements with Vectra Bank of Colorado.

ACC Metropolitan District
Notes to Financial Statements (continued)
December 31, 2021

5. Long-Term Obligations (continued)

Series 2019A Loan

The Series 2019A Loan (“2019A Loan”) provides for a maximum aggregate borrowing in the amount of \$10,000,000, \$1,666,867 for the purpose of refunding the existing Taxable/Tax-Exempt General Obligation Limited Tax Note, Series 2013 and \$8,333,133 for the purpose of paying project costs (including all advances). \$6,125,000 of the total became immediately available upon execution of the 2019A Loan and \$3,875,000 is to be made available when, and if, advanced in the future. During July 2020, an additional \$3,500,000 was advanced on the loan. The 2019A Loan is secured by pledged revenue consisting of monies derived by the District from the required mill levy, the portion of specific ownership taxes allocable to the amount of the required mill levy and any other legally available monies which the Board determines in its sole discretion to apply as pledged revenue. Interest is due on June 1 and December 1 of each year commencing December 1, 2019 at an initial rate of 3.192%. The interest rate is based upon the Federal Home Loan Bank Board Fixed-Rate Advance rate plus 175 basis points times 80%, resetting December 1, 2024 and every three years thereafter. Principal repayments are required annually beginning December 1, 2020 and the 2019A Loan matures on December 1, 2049.

The following is a summary of the annual long-term debt principal and interest requirements for the 2019A Loan:

	Series 2019A Loan		
	<u>Principal</u>	<u>Interest</u>	<u>Total</u>
2022	\$ 110,000	\$ 278,390	\$ 388,390
2023	120,000	275,393	395,393
2024	130,000	272,816	402,816
2025	155,000	268,525	423,525
2026-2030	945,000	1,268,910	2,213,910
2031-2035	1,327,500	1,111,106	2,438,606
2036-2040	1,847,500	886,016	2,733,516
2041-2045	2,480,000	576,854	3,056,854
2046-2049	2,635,000	173,640	2,808,640
	\$ 9,750,000	\$ 5,111,650	\$ 14,861,650

Series 2019B Loan

The Series 2019B loan (“2019B Loan”) provides for a maximum borrowing of \$9,000,000 to be used for the purpose of paying or reimbursing the Project Costs as authorized in the 2003 Election. The 2019B Loan is secured by pledged revenue consisting of monies derived by the District from the required mill levy, the portion of specific ownership taxes allocable to the amount of the required mill levy and any other legally available monies which the Board determines in its sole discretion to apply as pledged revenue. Interest is due on June 1 and December 1 of each year at a rate of 2.216%.

ACC Metropolitan District
Notes to Financial Statements (continued)
December 31, 2021

5. Long-Term Obligations (continued)

A small principal repayment is expected in 2023 with a final balloon payment in 2024.

During 2021, an amount of \$4,805,673 was advanced on the loan and the balance as of December 31, 2021 is \$4,735,673.

The following is a summary of the annual long-term debt principal and interest requirements for the 2019B Loan:

		<u>Series 2019B Loan</u>		
		<u>Principal</u>	<u>Interest</u>	<u>Total</u>
2022	\$	-	\$ 106,494	\$ 106,494
2023		96,000	106,494	202,494
2024		4,639,673	85,522	4,725,196
		<u>\$ 4,735,673</u>	<u>\$ 298,510</u>	<u>\$ 5,034,183</u>

Debt Authorization

As of December 31, 2021, the District had voted authorized but unissued indebtedness of \$169,730,000.

Developer Advance Agreements

On June 18, 2018, the District entered into the Termination of Facilities Funding and Acquisition Agreement and Operation Funding Agreements with DVI and concurrently the District entered into a new Facilities Funding and Acquisition Agreement (“New FFA”) and new 2018 Operation Funding Agreement (“New OFA”) with FR Aurora Commerce Center Phase I, LLC (“FR Aurora”) and all amounts due under the Funding Agreement and OFA to DVI will be paid to FR Aurora under the New FFA and New OFA, as described in more detail below.

New FFA

On June 18, 2018, the District entered into the New FFA with FR Aurora, whereby FR Aurora shall advance funds necessary to fund the construction related expenses incurred by the District for fiscal years 2018 through 2025, up to the Shortfall Amount of \$13,826,745. The District agrees to make payment to FR Aurora for all Prior Advances due to DVI, advances for construction related expenses and/or Verified Costs, together with interest thereon. The advances and/or verified costs and prior advances due DVI will bear simple interest at the rate of 8.0% per annum. In the event the District has not paid or reimbursed the Developer for any amounts due under the New FFA by December 31, 2058 or if the average useful life of the Improvements for which payment by the Developer is being sought has terminated, any amount of principal and accrued interest outstanding on such date shall be deemed to be forever discharged and satisfied in full.

ACC Metropolitan District
Notes to Financial Statements (continued)
December 31, 2021

5. Long-Term Obligations (continued)

Balances of \$4,606,897 in principal and \$497,952 in accrued interest were outstanding as of December 31, 2021.

New OFA

On June 18, 2018, the District entered into the New OFA with FR Aurora, whereby FR Aurora shall advance funds necessary to fund, or shall directly pay, the operations and maintenance expenses needed for fiscal years 2018 through 2019, up to the Shortfall Amount of \$60,000. Pursuant to the New OFA, the District agrees to make payment to FR Aurora for all Prior Advances due to DVI, together with interest thereon. The advances and prior advances due DVI will bear simple interest at the rate of 8.0% per annum. In the event the District has not paid or reimbursed the Developer for any amounts due under the New OFA by December 31, 2059, any amount of principal and accrued interest outstanding on such date shall be deemed to be forever discharged and satisfied in full.

Balances of \$71,312 in principal and \$19,268 in accrued interest were outstanding as of December 31, 2021.

6. Tax, Spending and Debt Limitations

Article X, Section 20 of the Colorado Constitution, commonly known as the Taxpayer's Bill of Rights (TABOR) contains tax, spending, revenue and debt limitations, which apply to the State of Colorado and all local governments.

Spending and revenue limits are determined based on the prior year's Fiscal Year Spending, adjusted for allowable increases based upon inflation and local growth. Fiscal Year Spending is generally defined as expenditures plus reserve increases with certain exceptions. Revenue in excess of the Fiscal Year Spending limit must be refunded unless the voters approve retention of such revenue.

TABOR requires local governments to establish Emergency Reserves. These reserves must be at least 3% of Fiscal Year Spending (excluding bonded debt service). Local governments are not allowed to use the emergency reserves to compensate for economic conditions, revenue shortfalls or salary or benefit increases.

The District's management believes it is in compliance with the provisions of TABOR. However, TABOR is complex and subject to interpretation. Many of the provisions, including the interpretation of how to calculate Fiscal Year Spending limits will require judicial interpretation.

ACC Metropolitan District
Notes to Financial Statements (continued)
December 31, 2021

7. Risk Management

Except as provided in the Colorado Governmental Immunity Act, 24-10-101, et seq., CRS, the District may be exposed to various risks of loss related to torts, theft of, damage to, or destruction of assets; errors or omissions; injuries to agents; and natural disasters. The District has elected to participate in the Colorado Special Districts Property and Liability Pool (the "Pool") which is an organization created by intergovernmental agreement to provide common liability and casualty insurance coverage to its members at a cost that is considered economically appropriate. Settled claims have not exceeded this commercial coverage in any of the past three fiscal years. The District pays annual premiums to the Pool for auto, public officials' liability, and property and general liability coverage. In the event aggregated losses incurred by the Pool exceed its amounts recoverable from reinsurance contracts and its accumulated reserves, the District may be called upon to make additional contributions to the Pool on the basis proportionate to other members. Any excess funds which the Pool determines are not needed for purposes of the Pool may be returned to the members pursuant to a distribution formula.

8. Related Party

The owner and developer of the property located within the boundaries of the District is FR Aurora. The members of the Board of Directors are employees of First Industrial Realty Trust, Inc., which is affiliated with FR Aurora, and may have conflicts of interest in dealing with the District. Management believes that all potential conflicts of interest, if any, have been disclosed to the Board of Directors.

Supplementary Information

ACC Metropolitan District
Schedule of Revenues, Expenditures
and Change in Fund Balance—Actual and Budget
Governmental Fund Type—Debt Service Fund
For the Year Ended December 31, 2021

	<u>Original Budget</u>	<u>Final Budget</u>	<u>Actual</u>	<u>Variance Favorable (Unfavorable)</u>
Revenues:				
Property taxes	\$ 534,700	\$ 534,700	\$ 534,699	\$ (1)
Specific ownership taxes	32,000	32,000	26,881	(5,119)
ARI revenue	16,396	16,396	16,395	(1)
Interest income	2,000	2,000	18	(1,982)
Total Revenue	<u>585,096</u>	<u>585,096</u>	<u>577,993</u>	<u>(7,103)</u>
Expenditures:				
Note principal	35,000	35,000	220,000	(185,000)
Note interest	232,416	232,416	309,538	(77,122)
Issuance costs	-	-	105,613	(105,613)
Paying agent fees	-	-	12,243	(12,243)
ARTA-one mill levy	-	-	16,396	(16,396)
Treasurer fees	-	-	8,020	(8,020)
Contingency	-	22,584	-	22,584
Total Expenditures	<u>267,416</u>	<u>290,000</u>	<u>671,810</u>	<u>(381,810)</u>
Excess Revenue Over (Under) Expenditures	<u>317,680</u>	<u>295,096</u>	<u>(93,817)</u>	<u>(388,913)</u>
Other financing sources (uses)				
Loan proceeds	-	-	4,805,673	4,805,673
Transfers to other funds	-	-	(4,700,060)	(4,700,060)
Total other financing sources (uses)	<u>-</u>	<u>-</u>	<u>105,613</u>	<u>105,613</u>
Net change in fund balances	<u>317,680</u>	<u>295,096</u>	<u>11,796</u>	<u>(283,300)</u>
Fund Balance—Beginning of year	<u>3,622,331</u>	<u>3,622,331</u>	<u>480,796</u>	<u>(3,141,535)</u>
Fund Balance—End of Year	<u>\$ 3,940,011</u>	<u>\$ 3,917,427</u>	<u>\$ 492,592</u>	<u>\$(3,424,835)</u>

ACC Metropolitan District
Schedule of Revenues, Expenditures
and Change in Fund Balance—Actual and Budget
Governmental Fund Type—Capital Projects Fund
For the Year Ended December 31, 2021

	<u>Original Budget</u>	<u>Final Budget</u>	<u>Actual</u>	<u>Variance Favorable (Unfavorable)</u>
Revenues:				
Developer advance	\$ -	\$ 5,400,000	\$ 508,910	\$ (4,891,090)
Interest income	50	50	-	(50)
Total Revenues	<u>50</u>	<u>5,400,050</u>	<u>508,910</u>	<u>(4,891,140)</u>
Expenditures:				
Developer advance reimbursement	-	-	1,560,000	(1,560,000)
Management / Accounting	6,000	6,000	9,534	(3,534)
District management	9,000	9,000	4,780	4,220
Legal	15,000	15,000	13,376	1,624
Engineering	600,000	600,000	325,669	274,331
Professional services	15,000	15,000	2,574	12,426
Capital outlay	600,000	7,455,000	3,859,441	3,595,559
Contingency	100,000	100,000	-	100,000
Total Expenditures	<u>1,345,000</u>	<u>8,200,000</u>	<u>5,775,374</u>	<u>2,424,626</u>
Excess Revenue Over (Under) Expenditures	<u>(1,344,950)</u>	<u>(2,799,950)</u>	<u>(5,266,464)</u>	<u>(2,466,514)</u>
Other financing sources (uses)				
2019A Loan proceeds	600,000	600,000	375,000	(225,000)
Transfers from other funds	-	-	4,700,060	4,700,060
Total other financing sources (uses)	<u>600,000</u>	<u>600,000</u>	<u>5,075,060</u>	<u>4,475,060</u>
Net change in fund balances	<u>(744,950)</u>	<u>(2,199,950)</u>	<u>(191,404)</u>	<u>2,008,546</u>
Fund Balance—Beginning of year	<u>2,276,560</u>	<u>2,276,560</u>	<u>2,281,966</u>	<u>5,406</u>
Fund Balance—End of Year	<u>\$ 1,531,610</u>	<u>\$ 76,610</u>	<u>\$ 2,090,562</u>	<u>\$ 2,013,952</u>

Ken Musso
ASSESSOR

AUG 23 2022



Assessor's Office
4430 South Adams County Parkway
2nd Floor, Suite C2100
Brighton, CO 80601-8201
PHONE 720.523.6038
FAX 720.523.6037
www.adcogov.org

August 25, 2022

ACC METROPOLITAN DISTRICT
SPECIAL DISTRICT MANAGEMENT SERVICES INC
Attn: DAVID SOLIN
141 UNION BLVD STE 150
LAKEWOOD CO 80228-1898

To DAVID SOLIN:

Enclosed is the 2022 preliminary valuation. This valuation along with all other statutory requirements is on the enclosed form. A final certification of value will be sent out on or before December 10, 2022.

This value is subject to change by the County Board of Equalization, Board of Assessment Appeals and the State Board of Equalization as provided by law.

Sincerely,

A handwritten signature in black ink, appearing to read 'KM', with a long horizontal flourish extending to the right.

Ken Musso
Adams County Assessor
KM/rmb

CERTIFICATION OF VALUATION BY ADAMS COUNTY ASSESSOR

Name of Jurisdiction: **219 - ACC METROPOLITAN DISTRICT**

IN ADAMS COUNTY ON 8/25/2022

New Entity: No

USE FOR STATUTORY PROPERTY TAX REVENUE LIMIT CALCULATIONS (5.5% LIMIT) ONLY

IN ACCORDANCE WITH 39-5-121(2)(a) AND 39-5-128(1), C.R.S. AND NO LATER THAN AUGUST 25, THE ASSESSOR CERTIFIES THE TOTAL VALUATION FOR ASSESSMENT FOR THE TAXABLE YEAR 2022 IN ADAMS COUNTY, COLORADO

1. PREVIOUS YEAR'S NET TOTAL TAXABLE ASSESSED VALUATION:	\$25,165,100
2. CURRENT YEAR'S GROSS TOTAL TAXABLE ASSESSED VALUATION: *	\$24,234,490
3. LESS TIF DISTRICT INCREMENT, IF ANY:	\$0
4. CURRENT YEAR'S NET TOTAL TAXABLE ASSESSED VALUATION:	\$24,234,490
5. NEW CONSTRUCTION: **	\$1,088,170
6. INCREASED PRODUCTION OF PRODUCING MINES: #	\$0
7. ANNEXATIONS/INCLUSIONS:	\$0
8. PREVIOUSLY EXEMPT FEDERAL PROPERTY: #	\$0
9. NEW PRIMARY OIL OR GAS PRODUCTION FROM ANY PRODUCING OIL AND GAS LEASEHOLD OR LAND (29-1-301(1)(b) C.R.S.): ##	\$0
10. TAXES COLLECTED LAST YEAR ON OMITTED PROPERTY AS OF AUG. 1 (29-1-301(1))(a) C.R.S.):	\$0.00
11. TAXES ABATED AND REFUNDED AS OF AUG. 1 (29-1-301(1)(a) C.R.S.) and (39-10-114(1)(I)(B) C.R.S.):	\$2.22

* This value reflects personal property exemptions IF enacted by the jurisdiction as authorized by Art. X, Sec.20(8)(b), Colo.

** New construction is defined as: Taxable real property structures and the personal property connected with the structure.

Jurisdiction must submit respective certifications (Forms DLG 52 AND 52A) to the Division of Local Government in order for the values to be treated as growth in the limit calculation.

Jurisdiction must apply (Forms DLG 52B) to the Division of Local Government before the value can be treated as growth in the limit calculation.

USE FOR 'TABOR' LOCAL GROWTH CALCULATIONS ONLY

IN ACCORDANCE WITH THE PROVISION OF ARTICLE X, SECTION 20, COLO CONST, AND 39-5-121(2)(b), C.R.S. THE ASSESSOR CERTIFIES THE TOTAL ACTUAL VALUATION FOR THE TAXABLE YEAR 2022 IN ADAMS COUNTY, COLORADO ON AUGUST 25, 2022

1. CURRENT YEAR'S TOTAL ACTUAL VALUE OF ALL REAL PROPERTY: @	\$75,253,017
ADDITIONS TO TAXABLE REAL PROPERTY:	
2. CONSTRUCTION OF TAXABLE REAL PROPERTY IMPROVEMENTS: !	\$3,752,322
3. ANNEXATIONS/INCLUSIONS:	\$0
4. INCREASED MINING PRODUCTION: %	\$0
5. PREVIOUSLY EXEMPT PROPERTY:	\$0
6. OIL OR GAS PRODUCTION FROM A NEW WELL:	\$0
7. TAXABLE REAL PROPERTY OMITTED FROM THE PREVIOUS YEAR'S TAX WARRANT:	\$0
(If land and/or a structure is picked up as omitted property for multiple years, only the most current year's actual value can be reported as omitted property.)	
DELETIONS FROM TAXABLE REAL PROPERTY:	
8. DESTRUCTION OF TAXABLE REAL PROPERTY IMPROVEMENTS:	\$0
9. DISCONNECTIONS/EXCLUSION:	\$0
10. PREVIOUSLY TAXABLE PROPERTY:	\$0

@ This includes the actual value of all taxable real property plus the actual value of religious, private schools, and charitable real property.

! Construction is defined as newly constructed taxable real property structures.

% Includes production from new mines and increases in production of existing producing mines.

IN ACCORDANCE WITH 39-5-128(1), C.R.S. AND NO LATER THAN AUGUST 25, THE ASSESSOR CERTIFIES TO SCHOOL DISTRICTS: 1. TOTAL ACTUAL VALUE OF ALL TAXABLE PROPERTY:----->	\$0
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NOTE: All levies must be Certified to the Board of County Commissioners NO LATER THAN DECEMBER 15, 2022

IN ACCORDANCE WITH 39-5-128(1.5) C.R.S. THE ASSESSOR PROVIDES: HB21-1312 ASSESSED VALUE OF EXEMPT BUSINESS PERSONAL PROPERTY (ESTIMATED): **	
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** The tax revenue lost due to this exempted value will be reimbursed to the tax entity by the County Treasurer in accordance with 39-3-119 f(3). C.R.S.

ACC METROPOLITAN DISTRICT
Assessed Value, Property Tax and Mill Levy Information

	2021 Actual	2022 Adopted Budget	2023 Preliminary Budget
Assessed Valuation	\$ 16,395,800	\$ 25,165,100	\$ 24,234,490
Mill Levy			
General Fund	3.388	3.388	3.388
Debt Service Fund	32.612	32.612	32.612
ARI Mill Levy	1.000	1.000	1.000
Total Mill Levy	37.000	37.000	37.000
Property Taxes			
General Fund	\$ 55,549	\$ 85,259	\$ 82,106
Debt Service Fund	534,700	820,684	790,335
ARI Mill Levy	16,396	25,165	24,234
Actual/Budgeted Property Taxes	\$ 606,645	\$ 931,108	\$ 896,675

ACC METROPOLITAN DISTRICT

**GENERAL FUND
2023 Preliminary Budget
with 2021 Actual, 2022 Adopted Budget, and 2022 Estimated**

	2021 Actual	01/22-07/22 YTD Actual	2022 Adopted Budget	2022 Estimated	2023 Preliminary Budget
BEGINNING FUND BALANCE	\$ 18,879	\$ 47,361	\$ 24,295	\$ 47,361	\$ 79,515
REVENUE					
Property Tax Revenue	55,549	85,259	85,259	85,259	82,106
Specific Ownership Taxes	2,710	971	2,200	2,200	2,200
Total Revenue	58,258	86,230	87,459	87,459	84,306
Total Funds Available	77,137	133,591	111,754	134,820	163,821
EXPENDITURES					
Accounting	6,356	2,510	11,000	11,000	11,900
District Management	3,187	1,353	15,000	15,000	16,200
Audit	5,000	-	7,000	7,000	7,500
Election	-	743	3,000	743	1,000
Insurance/SDA Dues	3,319	3,283	4,000	3,283	4,000
Legal	8,948	5,506	15,000	15,000	15,000
Miscellaneous	2,135	692	2,000	2,000	2,000
Treasurer's Fees	833	1,279	1,279	1,279	1,232
Contingency	-	-	-	-	20,000
Total Expenditures	29,776	15,367	58,279	55,305	78,832
Transfers and Other Sources (Uses)					
Emergency Reserve	-	-	(2,624)	-	(2,529)
Total Expenditures Requiring Appropriation	29,777	15,367	60,903	55,305	81,361
ENDING FUND BALANCE	\$ 47,361	\$ 118,224	\$ 50,851	\$ 79,515	\$ 82,460

ACC METROPOLITAN DISTRICT

**DEBT SERVICE FUND
2023 Preliminary Budget
with 2021 Actual, 2022 Adopted Budget and 2022 Estimated**

	2021 Actual	01/22-07/22 YTD Actual	2022 Adopted Budget	2022 Estimated	2023 Preliminary Budget
BEGINNING FUND BALANCE	\$ 480,796	\$ 492,591	\$ 763,907	\$ 492,591	\$ 911,809
REVENUE					
Property Tax Revenue	534,699	820,683	820,684	820,684	790,335
Specific ownership tax	26,881	9,629	25,000	25,000	25,000
ARI Revenue	16,396	25,165	25,165	25,165	24,234
Interest Income	18	413	25	600	600
Loan Proceeds	4,757,617	-	-	-	-
Total Revenue	5,335,610	855,890	870,874	871,449	840,169
Total Funds Available	5,816,406	1,348,481	1,634,781	1,364,040	1,751,978
EXPENDITURES					
Note Principal	220,000	-	40,000	40,000	40,000
Note Interest	309,538	194,848	365,756	365,756	365,756
Issuance Costs	57,557	-	-	-	-
Miscellaneous	-	-	1,000	1,000	1,000
Paying Agent Fees	12,243	4,241	8,000	8,000	8,000
ARTA - 1 mill levy	16,396	377	-	25,165	24,234
Treasurer's Fees	8,020	12,310	12,310	12,310	11,855
Contingency	-	-	20,000	-	20,000
Transfer to Capital Projects	4,700,060	-	-	-	-
Total Expenditures	5,323,813	211,776	447,066	452,231	470,845
Total Expenditures Requiring Appropriation	5,323,813	211,776	447,066	452,231	470,845
ENDING FUND BALANCE	\$ 492,591	\$ 1,136,705	\$ 1,187,715	\$ 911,809	\$ 1,281,133

ACC METROPOLITAN DISTRICT

CAPITAL PROJECTS FUND

2023 Preliminary Budget

with 2021 Actual, 2022 Adopted Budget and 2022 Estimated

	2021 Actual	01/22-07/22 YTD Actual	2022 Adopted Budget	2022 Estimated	2023 Preliminary Budget
BEGINNING FUND BALANCE	\$ 2,281,966	\$ 2,090,563	\$ 1,657,936	\$ 2,090,563	\$ (142,433)
REVENUE					
Developer Advance	508,910	-	-	-	-
Interest Income	-	4	-	-	-
2019A Loan Proceeds	375,000	-	575,060	-	-
Total Revenue	5,583,970	4	575,060	-	-
Total Funds Available	7,865,936	2,090,568	2,232,996	2,090,563	(142,433)
EXPENDITURES					
Developer Advance Reimb	1,560,000	-	-	-	-
Management / Accounting	9,534	3,765	6,000	6,000	6,500
District Management	4,780	2,029	9,000	9,000	9,700
Legal	13,376	8,260	15,000	15,000	15,000
Engineering	325,669	113,000	600,000	600,000	600,000
Professional Services	2,574	-	15,000	15,000	15,000
Capital Outlay	3,859,441	756,566	1,487,996	1,487,996	1,487,996
Contingency	-	-	100,000	100,000	100,000
Total Expenditures	5,775,374	883,620	2,232,996	2,232,996	2,234,196
Total Expenditures Requiring Appropriation	5,775,374	883,620	2,232,996	2,232,996	2,234,196
ENDING FUND BALANCE	\$ 2,090,563	\$ 1,206,947	\$ -	\$ (142,433)	\$ (2,376,629)

RESOLUTION NO. 2022-11-03
RESOLUTION TO ADOPT BUDGET AND APPROPRIATE SUMS OF MONEY
RESOLUTION OF THE BOARD OF DIRECTORS OF

ACC METROPOLITAN DISTRICT, ADAMS COUNTY, COLORADO, PURSUANT TO
SECTION 29-1-108, C.R.S., SUMMARIZING EXPENDITURES AND REVENUES FOR
EACH FUND, ADOPTING A BUDGET AND APPROPRIATING SUMS OF MONEY
FOR THE BUDGET YEAR 2023

- A. The Board of Directors of ACC Metropolitan District (the “**District**”) has appointed Special District Management Services, Inc. to prepare and submit a proposed budget to said governing body at the proper time.
- B. Special District Management Services, Inc. has submitted a proposed budget to this governing body on November 2, 2022 for its consideration.
- C. Upon due and proper notice, published or posted in accordance with the law, said proposed budget was open for inspection by the public at a designated place, a public hearing was held on November 2, 2022, and interested taxpayers were given the opportunity to file or register any objections to said proposed budget.
- D. The budget has been prepared to comply with all terms, limitations and exemptions, including, but not limited to, reserve transfers and expenditure exemptions, under Article X, Section 20 of the Colorado Constitution (“**TABOR**”) and other laws or obligations which are applicable to or binding upon the District.
- E. Whatever increases may have been made in the expenditures, like increases were added to the revenues so that the budget remains in balance, as required by law.
- F. The Board of Directors has made provision therein for revenues in an amount equal to or greater than the total proposed expenditures as set forth in said budget.
- G. It is not only required by law, but also necessary to appropriate the revenues provided in the budget to and for the purposes described below, thereby establishing a limitation on expenditures for the operations of the District.

NOW, THEREFORE, BE IT RESOLVED BY THE BOARD OF DIRECTORS OF ACC METROPOLITAN DISTRICT, ADAMS COUNTY, COLORADO:

1. The budget, as submitted, amended, and summarized by fund, is hereby approved and adopted as the budget of the District for the year stated above.
2. The budget is hereby approved and adopted, shall be certified by the Secretary of the District to all appropriate agencies and is made a part of the public records of the District.
3. The sums set forth as the total expenditures of each fund in the budget attached hereto as **Exhibit A** and incorporated herein by reference are hereby appropriated from the revenues of each fund, within each fund, for the purposes stated.

[SIGNATURE PAGE FOLLOWS]

**[SIGNATURE PAGE TO RESOLUTION TO ADOPT BUDGET AND
APPROPRIATE SUMS OF MONEY]**

RESOLUTION APPROVED AND ADOPTED on November 2, 2022.

ACC METROPOLITAN DISTRICT

By: _____
President

Attest:

By: _____
Secretary

EXHIBIT A

Budget

I, James Ruthven, hereby certify that I am the duly appointed Secretary of the ACC Metropolitan District, and that the foregoing is a true and correct copy of the budget for the budget year 2023, duly adopted at a meeting of the Board of Directors of the ACC Metropolitan District held on November 2, 2022.

Secretary

RESOLUTION NO. 2022-11-04
RESOLUTION TO SET MILL LEVIES
RESOLUTION OF THE ACC METROPOLITAN DISTRICT LEVYING GENERAL
PROPERTY TAXES, PURSUANT TO SECTION 39-1-111, C.R.S., FOR THE YEAR
2023, TO HELP DEFRAY THE COSTS OF GOVERNMENT FOR THE 2022 BUDGET
YEAR

A. The Board of Directors of the ACC Metropolitan District (the “**District**”) has adopted an annual budget in accordance with the Local Government Budget Law, on November 2, 2022.

B. The adopted budget is attached as Exhibit A to the Resolution of the Board of Directors of the District to Adopt Budget and Appropriate Sums of Money, and such budget is incorporated herein by this reference.

C. The amount of money necessary to balance the budget for general operating/general fund expenses from property tax revenue is identified in the budget.

D. The amount of money necessary to balance the budget for debt retirement/debt service fund expenses from property tax revenue is identified in the budget.

NOW, THEREFORE, PURSUANT TO SECTIONS 39-1-111(5) and 39-5-128(1), C.R.S., BE IT RESOLVED by the Board of Directors of the ACC Metropolitan District, Adams County, Colorado, that:

1. For the purpose of meeting all general operating expenses of the District during the 2023 budget year, the District determined to levy mills upon each dollar of the total valuation for assessment of all taxable property within the District, as set forth in the budget, to raise the required revenue.

2. That for the purpose of meeting all debt retirement expenses of the District during the 2023 budget year, the District determined to levy mills upon each dollar of the total valuation for assessment of all taxable property within the District, as set forth in the budget, to raise the required revenue.

3. That for the purpose of meeting all contractual obligation expenses of the District during the 2023 budget year, the District determined to levy mills upon each dollar of the total valuation for assessment of all taxable property within the District, as set forth in the budget, to raise the required revenue.

That the Secretary is hereby authorized and directed to immediately certify to the Board of County Commissioners of Adams County, Colorado, the mill levies for the District as set forth in the District’s Certification of Mill Levies, attached hereto as **Exhibit 1** and incorporated herein by reference, recalculated as needed upon receipt of the final certification of valuation from the County Assessor in order to comply with any applicable revenue and other budgetary limits.

[SIGNATURE PAGE FOLLOWS]

[SIGNATURE PAGE OF RESOLUTION TO SET MILL LEVIES]

RESOLUTION APPROVED AND ADOPTED on November 2, 2022.

ACC METROPOLITAN DISTRICT

By: _____
President

Attest:

By: _____
Secretary

EXHIBIT 1

Certification of Tax Levies

I, James Ruthven, hereby certify that I am the duly appointed Secretary of the ACC Metropolitan District, and that the foregoing is a true and correct copy of the Certification of Mill Levies for the budget year 2023, duly adopted at a meeting of the Board of Directors of the ACC Metropolitan District held on November 2, 2022.

Secretary

RESOLUTION NO. 2022-11-____

**A RESOLUTION OF THE BOARD OF DIRECTORS OF
ACC METROPOLITAN DISTRICT
CALLING A REGULAR ELECTION FOR DIRECTORS
MAY 2, 2023**

A. The terms of the offices of Directors John Strabel and Julie Von Clausburg shall expire upon the election of their successors at the regular election, to be held on May 2, 2023 (“**Election**”), and upon such successors taking office.

B. Vacancies currently exist on the Board of Directors of the District.

C. In accordance with the provisions of the Special District Act (“**Act**”) and the Uniform Election Code (“**Code**”), the Election must be conducted to elect two (2) Directors to serve until the next regular election, to occur May 6, 2025, and two (2) Directors to serve until the second regular election, to occur May 4, 2027.

NOW, THEREFORE, BE IT RESOLVED by the Board of Directors of the ACC Metropolitan District (the “**District**”) of the County of Adams, Colorado:

1. Date and Time of Election. The Election shall be held on May 2, 2023, between the hours of 7:00 A.M. and 7:00 P.M. pursuant to and in accordance with the Act, Code, and other applicable laws. At that time, two (2) Directors shall be elected to serve until the next regular election, to occur May 6, 2025, and two (2) Directors shall be elected to serve until the second regular election, to occur May 4, 2027.

2. Precinct. The District shall consist of one (1) election precinct for the convenience of the eligible electors of the District.

3. Conduct of Election. The Election shall be conducted as an independent mail ballot election in accordance with all relevant provisions of the Code. The Designated Election Official shall have on file, no later than fifty-five (55) days prior to the Election, a plan for conducting the independent mail ballot Election.

4. Designated Election Official. [REDACTED] shall be the Designated Election Official and is hereby authorized and directed to proceed with any action necessary or appropriate to effectuate the provisions of this Resolution and of the Act, Code or other applicable laws. The Election shall be conducted in accordance with the Act, Code and other applicable laws. Among other matters, the Designated Election Official shall appoint election judges as necessary, arrange for the required notices of election (either by mail or publication) and printing of ballots, and direct that all other appropriate actions be accomplished.

5. Call for Nominations. The Designated Election Official shall provide Call for Nominations as required under Section 1-13.5-501, C.R.S., as applicable.

6. Absentee Ballot Applications. NOTICE IS FURTHER GIVEN, pursuant to Section 1-13.5-1002, C.R.S., that applications for and return of absentee ballots may be filed with the Designated Election Official of the District, c/o Special District Management Services, Inc., 141 Union Boulevard, Suite 150, Lakewood, Colorado 80228, between the hours of 8:00 a.m. and 5:00 p.m., until the close of business on the Tuesday immediately preceding the Election (April 25, 2023).

7. Self-Nomination and Acceptance Forms. Self-Nomination and Acceptance Forms are available and can be obtained from the Designated Election Official for the District, at the above address and on the District's website at <https://accmd.colorado.gov>.

8. Cancellation of Election. If the only matter before the electors is the election of Directors of the District and if, at 5:00 P.M. on February 28, 2023, the sixty-third day prior to the regular election, there are not more candidates than offices to be filled at the Election, including candidates timely filing affidavits of intent, the Designated Election Official shall cancel the Election and declare the candidates elected. Notice of such cancellation shall be published and posted in accordance with law.

9. Severability. If any part or provision of this Resolution is adjudged to be unenforceable or invalid, such judgment shall not affect, impair or invalidate the remaining provisions of this Resolution, it being the Board of Director's intention that the various provisions hereof are severable.

10. Repealer. All acts, orders and resolutions, or parts thereof, of the Board of Directors which are inconsistent or in conflict with this Resolution are hereby repealed to the extent only of such inconsistency or conflict.

11. Effective Date. The provisions of this Resolution shall take effect as of the date adopted and approved by the Board of Directors of the District.

[SIGNATURE PAGE FOLLOWS]

**[SIGNATURE PAGE TO RESOLUTION
CALLING A REGULAR ELECTION FOR DIRECTORS
MAY 2, 2023]**

RESOLUTION APPROVED AND ADOPTED on November 2, 2022.

ACC METROPOLITAN DISTRICT

By: _____
President

Attest:

Secretary

PUBLIC IMPROVEMENT DEFERRAL AGREEMENT
(ROADWAY IMPROVEMENTS)

This Agreement, made this _____ day of _____, 20____, by and between the ACC Metropolitan District, a quasi-municipal corporation and political subdivision of the State of Colorado, referred to as "**District**," and the City of Aurora, Colorado, a municipal corporation for the State of Colorado, hereinafter referred to as "**Aurora**" or the "**City**."

WITNESSETH:

WHEREAS, pursuant to the authority granted to the District by its Service Plan, as approved by the City Council of the City of Aurora on September 8, 2003, as it may be amended from time to time (the "**Service Plan**"), the District was formed, among other things, to provide for the design, construction and financing of public improvements to benefit properties within its boundaries, which include the Aurora Commerce Center, in the City of Aurora, County of Adams, State of Colorado.

WHEREAS, the Service Plan for the District contemplated that the District would be responsible for certain improvements to Picadilly Road, including those improvements as set forth on the construction plans attached hereto and incorporated herein as **Exhibit A** (the "**Deferred Improvements**"), which construction plans have been approved by the City;

WHEREAS, Deferred Improvements are all the improvements within the approved plans (COA EDN 221219), except those depicted within Exhibit A noted as "non-deferred construction".

WHEREAS, certain of the Deferred Improvements will also require approval and permits from the Union Pacific Railroad Company ("**UPRR**") as well as the Colorado Public Utilities Commission ("**PUC**"), which UPRR and PUC permits and approvals have not yet been obtained;

WHEREAS, there are a number of improvements that constitute the complete construction of the public improvements (the "**Ultimate Build Improvements**") as contained within approved Civil Plans (EDN 221219), prepared by Kimley-Horn and Associates, Inc., "including, but not limited to the Deferred Agreements set forth herein and certain other "storm sewer improvements" as set forth in a separate deferral agreement (the "**Storm Deferral Agreement**") and "non-deferred" improvements, as defined in Exhibit A ("**Deferred Roadway Improvements**"), Exhibit B ("**Deferred Storm Improvements**"), and Exhibit C ("**Non-Deferred Improvements**")

WHEREAS, at this time the City and other third-parties are not yet ready to commence construction of all portions of the Ultimate Build Improvements for a variety of reasons;

WHEREAS, the District has issued general obligation indebtedness that is to be repaid from the imposition of a mill levy and the ad valorem tax revenue generated there from;

WHEREAS, the District will benefit from the development of property within the District to create a tax base to repay the District's general obligation indebtedness;

WHEREAS, certain real property within the District is anticipated to be developed, namely: Aurora Commerce Center Subdivision Filing No 3, Lots 1 and 2 within Block 1 (the "**Property**");

WHEREAS, in connection with the development of the Property, the District has the obligation to complete the Deferred Improvements;

WHEREAS, the District has requested that the Property be allowed to develop and an Occupancy Permit from Aurora granted therefore without having installed the Deferred Improvements; and

WHEREAS, pursuant to City Code Section 146-5.3.19(b), the Director of Public Works has granted a deferral of the Deferred Improvements.

NOW, THEREFORE, in consideration of the foregoing premises and further consideration of Aurora deferring the installation of the Deferred Improvements, IT IS AGREED:

1. That Aurora shall issue the Occupancy Permit(s) requested.
2. Within 180 days following the mutual execution hereof, the City and the District will agree on an intergovernmental reimbursement agreement (the "**Roadway Reimbursement IGA**") pursuant to which the Deferred Improvements will be constructed. The Roadway Reimbursement IGA will provide the terms for the bidding, construction and funding of both the Deferred Improvements and certain of the Ultimate Build Improvements. The Roadway Reimbursement IGA will identify that if the District is the constructing party for both the Ultimate Build Improvements and the Deferred Improvements, that the City will segregate funds to pay for that portion of the Ultimate Build Improvements for which the City is responsible and make the same available to the District to draw upon as certain construction milestones are satisfied. If, however, the Roadway Reimbursement IGA identifies the City as the constructing party, then, the District will adopt an Appropriations Resolution that appropriates the funds necessary for the Deferred Improvements and the District will make the same available to the City as certain construction milestones are satisfied. The exact terms and conditions of the Roadway Reimbursement Agreement shall be mutually agreeable to the Parties and the same shall be deemed incorporated herein at such time as the Roadway Reimbursement IGA is executed.
3. That the District, for itself, its heirs, successors and assigns, agrees with Aurora that:
 - A. within six (6) months following the later to occur of: (a) the date the UPRR and PUC approvals/permits are obtained; (b) the date the Roadway Reimbursement IGA is approved by both Parties and executed; and (c) the date upon which Aurora gives written notice by Certified Mail to the District, the District shall commence construction of the Deferred Improvements in accordance with the Roadway Reimbursement IGA or provide a method of security as provided in Code Section 146-5.3.19(c), for the installation of the Deferred Improvements, and
 - B. within thirty (30) days, following the later to occur of: (a) the date the UPRR and PUC approvals/permits are obtained; (b) the date the Roadway Reimbursement IGA is approved by both Parties and executed; and (c) the date upon which Aurora gives written notice by Certified Mail to the District, the District will, with good faith efforts, secure a performance bond covering the construction of the Deferred Improvements. Aurora may issue said notice at any time, including but

not limited to, such time as the Director of Public Works determines that additional public improvement construction is to occur adjacent to or near the above-described Property.

4. Failure of the District to respond and comply (as defined in City Code Section 146-5.3.19(b) with the notice given by Aurora to commence construction of the public improvements or adopt the Appropriations Resolution committing funds for the installation of the Deferred Improvements or obtaining the performance bond shall constitute the District's consent to Aurora's pursuit of one or more of the following remedies:
 - A. Application of the funds which are payable or due the City to the construction of said public improvements or institute suit in any court of competent jurisdiction to obtain the amount which may be due and owing to it either on any method of security or for breach of contract or such other remedy as may be appropriate.
 - B. Draw on the security provided by the District.
5. In the event the City creates a special improvement district for the construction of the said public improvements with Aurora, the District, for itself, its heirs, successors, and assigns, agrees this Agreement shall constitute District's consent to and petition for the creation of a special improvement district by Aurora for the construction of the public improvements required by the above-referenced Covenant. The Property shall be assessed for the costs of construction, engineering, and incidentals in conjunction with the creation of said improvement district. Said costs shall represent the special benefits accruing to the Property due to the construction of said public improvements. The assessment of said costs shall constitute a lien against the Property described herein until fully paid.
6. The City agrees that it will authorize an approval extension of the expiration of the currently approved civil plans (EDN 221219) for a period of five (5) years following the date hereof. The City reserves the right to request revision, prior to issuance of Public Improvement Permit, to approved civil plans if the City's code and criteria have been updated, and the updates impact public health and safety.
7. This Agreement shall be recorded with the Clerk and Recorder of Adams County, and shall run with the land, and shall be binding upon and inure to the benefit of the heirs, successors, and assignees of the parties hereto.

IN WITNESS WHEREOF, the Parties have caused their names to be hereunto subscribed this _____ day of _____, 20____.

DISTRICT:

ACC METROPOLITAN DISTRICT, a quasi-municipal corporation and political subdivision of the State of Colorado

By: _____

Title: _____

STATE OF COLORADO)
) ss.
County of)

The foregoing Agreement was acknowledged before me this _____ day of _____, 20____, by _____ as President of the ACC Metropolitan District, a quasi-municipal corporation and political subdivision of the State of Colorado.

Witness my hand and official seal.

Notary Public

My Commission expires: _____

CITY OF AURORA:

Director of Public Works

Approved as to form

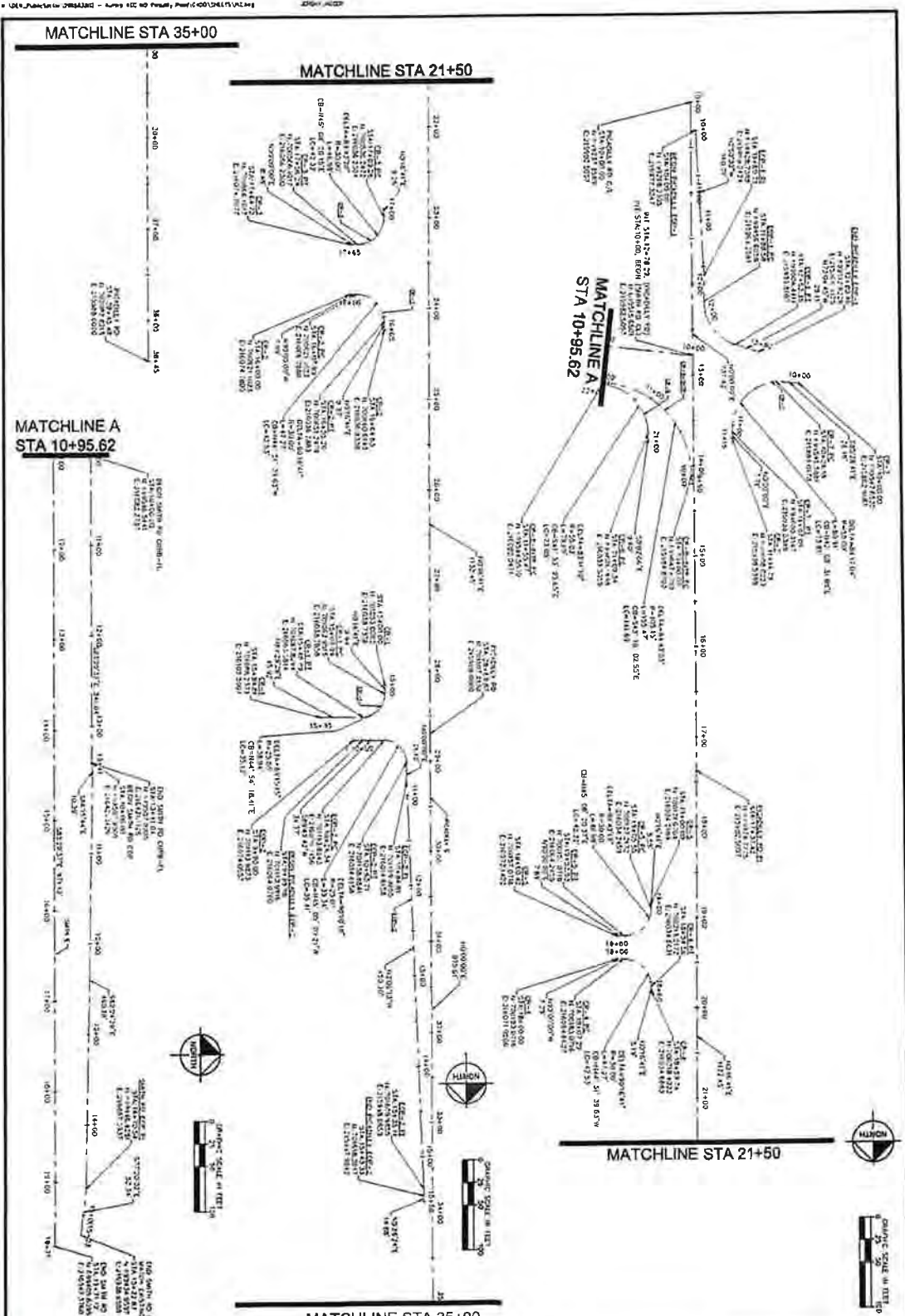
Reviewed by City Engineer

Reviewed by Aurora Water

Reviewed by Real Property

EXHIBIT A

Deferred Roadway Improvements



APPROVED ON 07/12/2021

EXHIBIT A - DEFERRED ROADWAY IMPROVEMENTS SHEET 4 OF 48

NO.	REVISION	BY	DATE

CITY OF AURORA
AURORA COMMERCE CENTER SUBDIVISION FILING NO. 3
PICADILLY ROAD IMPROVEMENTS
HORIZONTAL CONTROL

Kimley»Horn
 KIMLEY-HORN AND ASSOCIATES, INC.
 4582 SOUTH WELSH STREET, SUITE 1600
 DENVER, COLORADO 80237 (303) 396-3300

DESIGNED BY: JMC
 DRAWN BY: CMH
 DATE: 6/10/21

FACSIMILE
 This drawing is a facsimile of the original drawing. It is not to be used for construction purposes unless it is accompanied by the original drawing.

PROJECT NO. 2019-001
 SHEET NO. 4

GENERAL NOTES

- 1. PURPOSE TO SEARCH, INTERFERE, AND IDENTIFY SPECIFIC GROUND UTILITIES AS PER THE SCOPE OF WORK NEGOTIATED BETWEEN S&B AND THE CLIENT WITHIN THE SPECIFIC CORRIDORS.
- 2. THE SUBSURFACE UTILITY INFORMATION ON THE SURFACE UTILITY INVESTIGATION REPORTS SHALL BE THE BASIS FOR THE DESIGN AND CONSTRUCTION OF THE PROPOSED IMPROVEMENTS. THE DESIGNER SHALL BE RESPONSIBLE FOR VERIFYING THE ACCURACY OF THE SURFACE UTILITY INFORMATION AND FOR OBTAINING NECESSARY PERMITS FOR THE PROPOSED IMPROVEMENTS.
- 3. QUALITY LEVEL "C" - GROUND PENETRATING RADAR (GPR) DATA HAS BEEN OBTAINED AND ANALYZED TO ASSIST IN THE IDENTIFICATION OF UTILITIES. NO ELECTRICAL OR PNEUMATIC TESTS HAVE BEEN CONDUCTED TO VERIFY THE LOCATION OF UTILITIES.
- 4. QUALITY LEVEL "D" - GROUND PENETRATING RADAR (GPR) DATA HAS BEEN OBTAINED AND ANALYZED TO ASSIST IN THE IDENTIFICATION OF UTILITIES. NO ELECTRICAL OR PNEUMATIC TESTS HAVE BEEN CONDUCTED TO VERIFY THE LOCATION OF UTILITIES.
- 5. QUALITY LEVEL "E" - GROUND PENETRATING RADAR (GPR) DATA HAS BEEN OBTAINED AND ANALYZED TO ASSIST IN THE IDENTIFICATION OF UTILITIES. NO ELECTRICAL OR PNEUMATIC TESTS HAVE BEEN CONDUCTED TO VERIFY THE LOCATION OF UTILITIES.
- 6. QUALITY LEVEL "F" - GROUND PENETRATING RADAR (GPR) DATA HAS BEEN OBTAINED AND ANALYZED TO ASSIST IN THE IDENTIFICATION OF UTILITIES. NO ELECTRICAL OR PNEUMATIC TESTS HAVE BEEN CONDUCTED TO VERIFY THE LOCATION OF UTILITIES.
- 7. QUALITY LEVEL "G" - GROUND PENETRATING RADAR (GPR) DATA HAS BEEN OBTAINED AND ANALYZED TO ASSIST IN THE IDENTIFICATION OF UTILITIES. NO ELECTRICAL OR PNEUMATIC TESTS HAVE BEEN CONDUCTED TO VERIFY THE LOCATION OF UTILITIES.
- 8. QUALITY LEVEL "H" - GROUND PENETRATING RADAR (GPR) DATA HAS BEEN OBTAINED AND ANALYZED TO ASSIST IN THE IDENTIFICATION OF UTILITIES. NO ELECTRICAL OR PNEUMATIC TESTS HAVE BEEN CONDUCTED TO VERIFY THE LOCATION OF UTILITIES.
- 9. QUALITY LEVEL "I" - GROUND PENETRATING RADAR (GPR) DATA HAS BEEN OBTAINED AND ANALYZED TO ASSIST IN THE IDENTIFICATION OF UTILITIES. NO ELECTRICAL OR PNEUMATIC TESTS HAVE BEEN CONDUCTED TO VERIFY THE LOCATION OF UTILITIES.
- 10. QUALITY LEVEL "J" - GROUND PENETRATING RADAR (GPR) DATA HAS BEEN OBTAINED AND ANALYZED TO ASSIST IN THE IDENTIFICATION OF UTILITIES. NO ELECTRICAL OR PNEUMATIC TESTS HAVE BEEN CONDUCTED TO VERIFY THE LOCATION OF UTILITIES.
- 11. QUALITY LEVEL "K" - GROUND PENETRATING RADAR (GPR) DATA HAS BEEN OBTAINED AND ANALYZED TO ASSIST IN THE IDENTIFICATION OF UTILITIES. NO ELECTRICAL OR PNEUMATIC TESTS HAVE BEEN CONDUCTED TO VERIFY THE LOCATION OF UTILITIES.
- 12. QUALITY LEVEL "L" - GROUND PENETRATING RADAR (GPR) DATA HAS BEEN OBTAINED AND ANALYZED TO ASSIST IN THE IDENTIFICATION OF UTILITIES. NO ELECTRICAL OR PNEUMATIC TESTS HAVE BEEN CONDUCTED TO VERIFY THE LOCATION OF UTILITIES.



APPROVED ON 07/12/2021

- List of Agencies
- AC - Alexander Construction
- AD - American Development Corp.
- AO - American Oil & Gas
- BO - Broadband of Peoria
- CCO/XX - Comcast Cable
- CI - Consolidated
- UIC - Direct Buried Cable
- FEE - Fidelity Energy
- IP - Ilium
- PE - Polyethylene
- PH - Phase
- PAR - Parkway
- S - State
- SKN1 - S&B and Associates
- SKN2 - S&B and Associates
- SKN3 - S&B and Associates
- SKN4 - S&B and Associates
- SKN5 - S&B and Associates
- SKN6 - S&B and Associates
- SKN7 - S&B and Associates
- SKN8 - S&B and Associates
- SKN9 - S&B and Associates
- SKN10 - S&B and Associates
- SKN11 - S&B and Associates
- SKN12 - S&B and Associates
- SKN13 - S&B and Associates
- SKN14 - S&B and Associates
- SKN15 - S&B and Associates
- SKN16 - S&B and Associates
- SKN17 - S&B and Associates
- SKN18 - S&B and Associates
- SKN19 - S&B and Associates
- SKN20 - S&B and Associates
- SKN21 - S&B and Associates
- SKN22 - S&B and Associates
- SKN23 - S&B and Associates
- SKN24 - S&B and Associates
- SKN25 - S&B and Associates
- SKN26 - S&B and Associates
- SKN27 - S&B and Associates
- SKN28 - S&B and Associates
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- SKN41 - S&B and Associates
- SKN42 - S&B and Associates
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- SKN44 - S&B and Associates
- SKN45 - S&B and Associates
- SKN46 - S&B and Associates
- SKN47 - S&B and Associates
- SKN48 - S&B and Associates
- SKN49 - S&B and Associates
- SKN50 - S&B and Associates

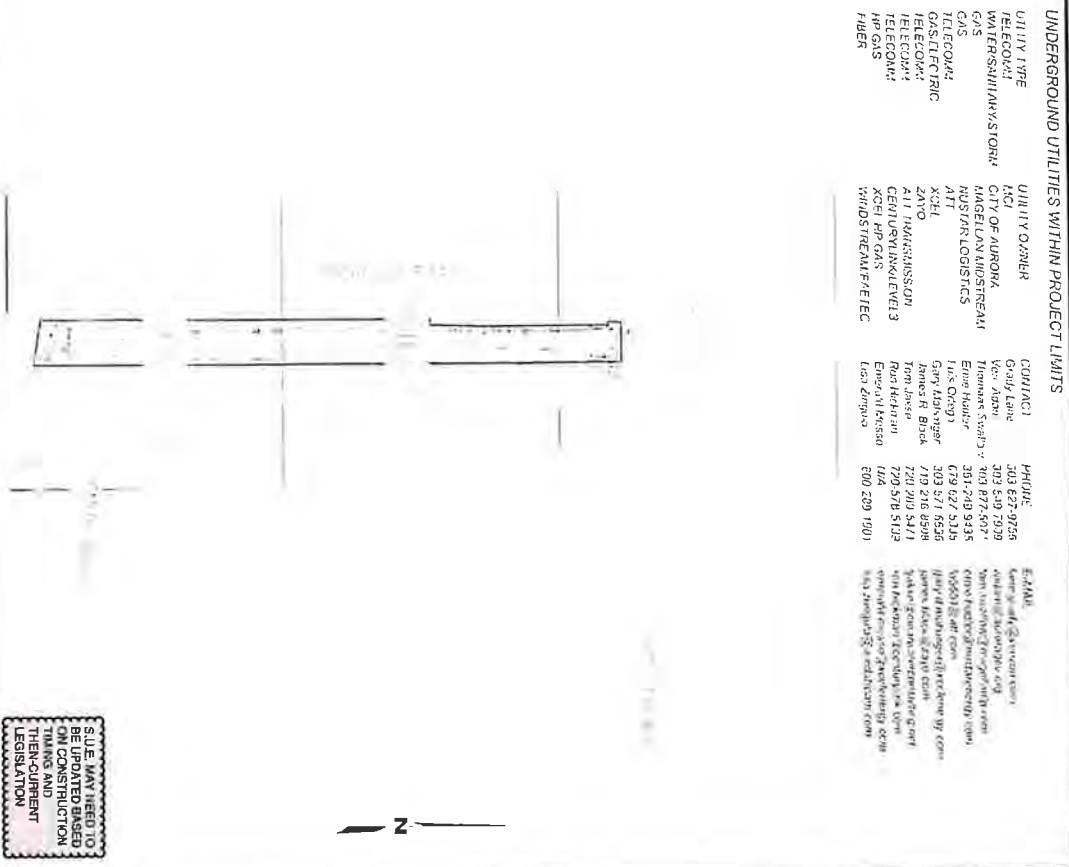
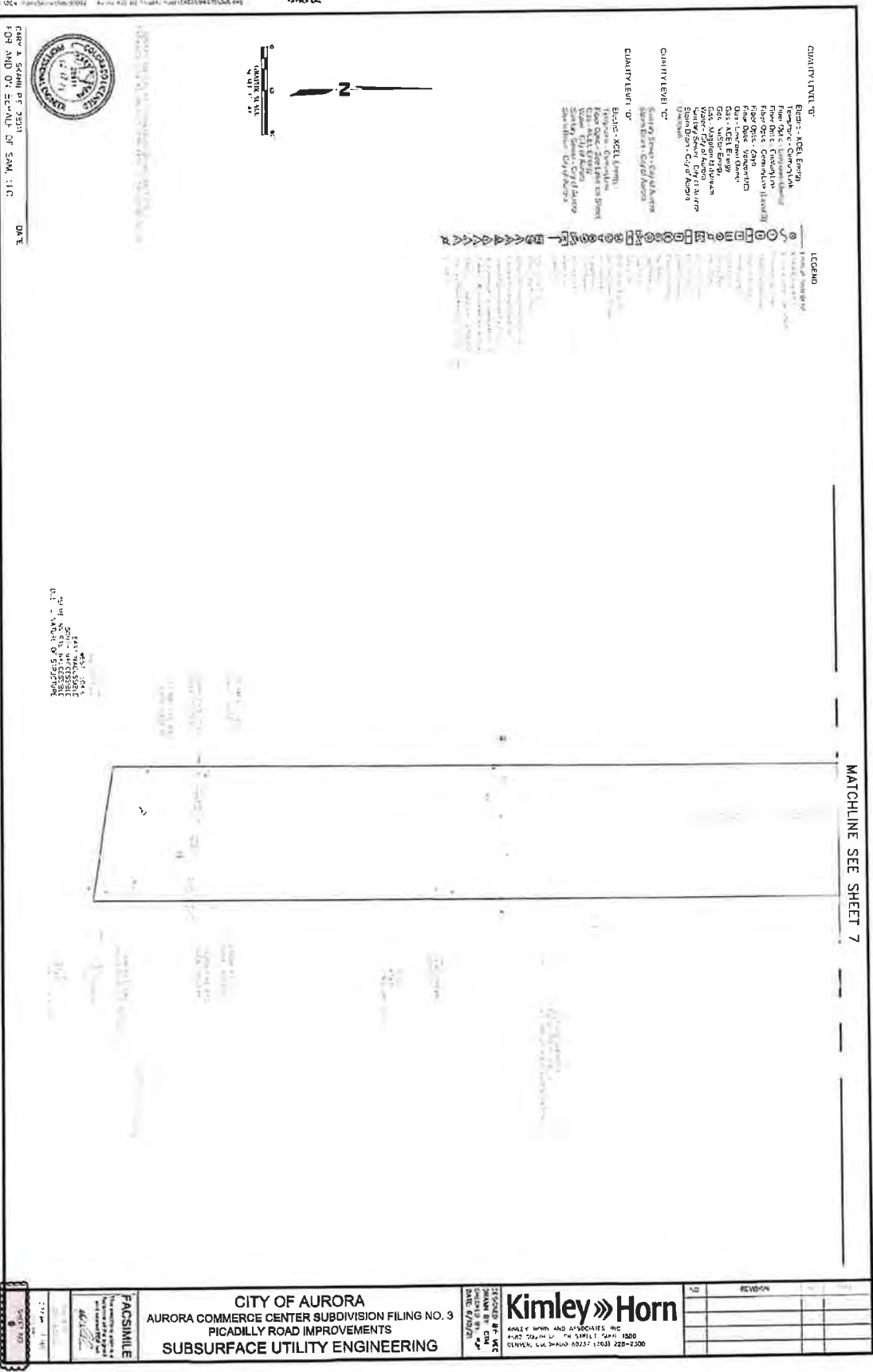


EXHIBIT A - DEFERRED ROADWAY IMPROVEMENTS

SHEET 5 OF 48



Case A Sdmm PC 2301 DATE
 FOR AND OF SCALD OF SAM, LLC

APPROVED ON 07/12/2021

MATCHLINE SEE SHEET 7

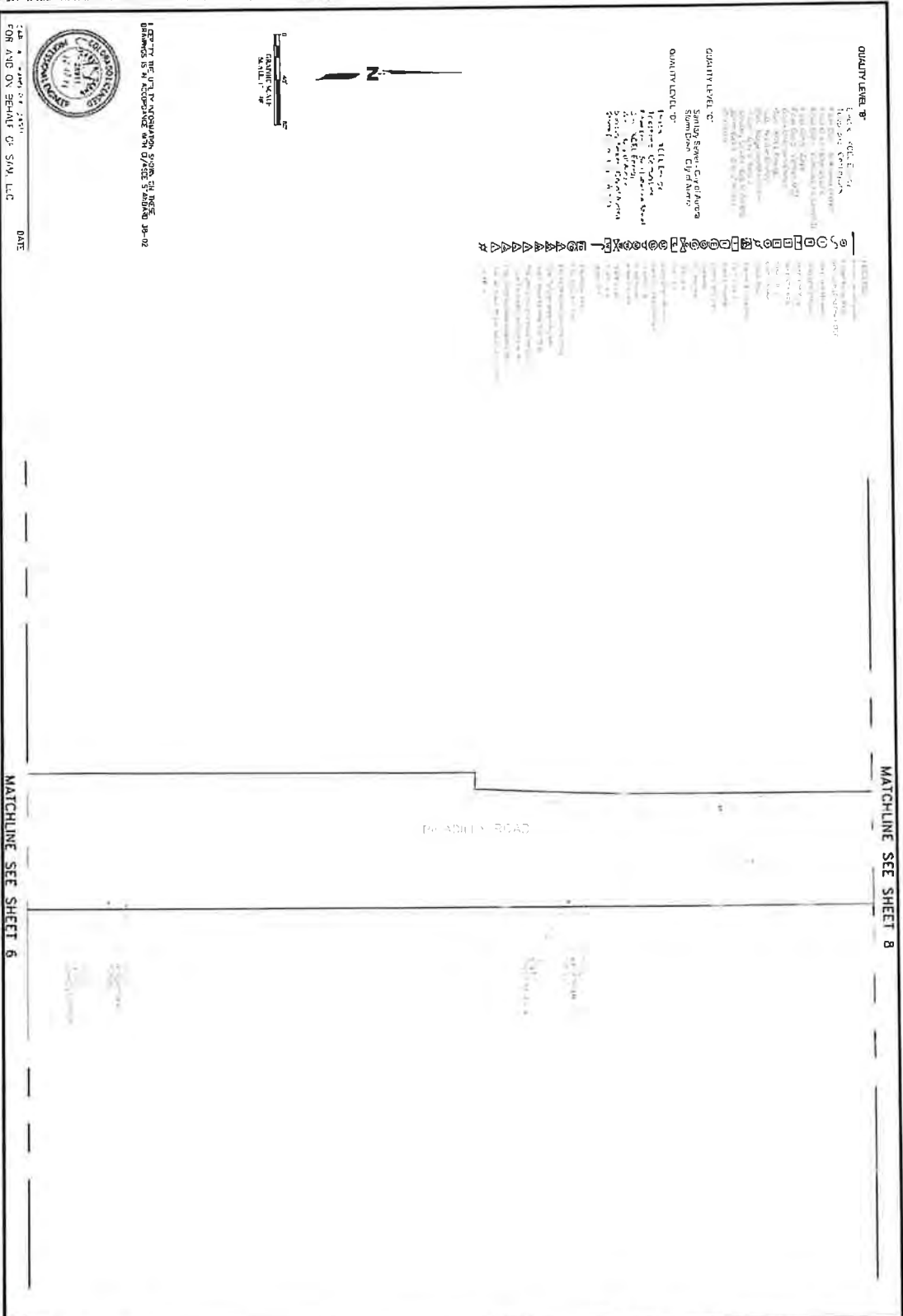
EXHIBIT A - DEFERRED ROADWAY IMPROVEMENTS
 SHEET 6 OF 48

NO.	REVISION

CITY OF AURORA
 AURORA COMMERCE CENTER SUBDIVISION FILING NO. 3
 PICADILLY ROAD IMPROVEMENTS
 SUBSURFACE UTILITY ENGINEERING

Kimley»Horn
 Kimley Horn and Associates, Inc.
 6000 South Loop West, Suite 1000
 Houston, TX 77057-1000
 PHONE: 281-462-2200 FAX: 281-462-2201
 WWW.KIMLEYHORN.COM

FACSIMILE
 This drawing is a facsimile of the original drawing. It is not to be used for construction purposes. The original drawing is the only authoritative source for the project.



LETTER THE CITY ENGINEER SIGN ALL THESE DRAWINGS IS IN ACCORDANCE WITH DIVISION STANDARD 28-02

DATE: 7/12/21
 FOR AND ON BEHALF OF: SAJY, LLC
 APPROVED ON 07/12/2021

MATCHLINE SEE SHEET 8

MATCHLINE SEE SHEET 6

PICADILLY ROAD

EXHIBIT A - DEFERRED ROADWAY IMPROVEMENTS
 SHEET 7 OF 48

	CITY OF AURORA AURORA COMMERCE CENTER SUBDIVISION FILING NO. 3 PICADILLY ROAD IMPROVEMENTS SUBSURFACE UTILITY ENGINEERING		SHEET NO. 7 OF 48
			DATE: 6/10/21






























QUALITY LEVEL 'B'

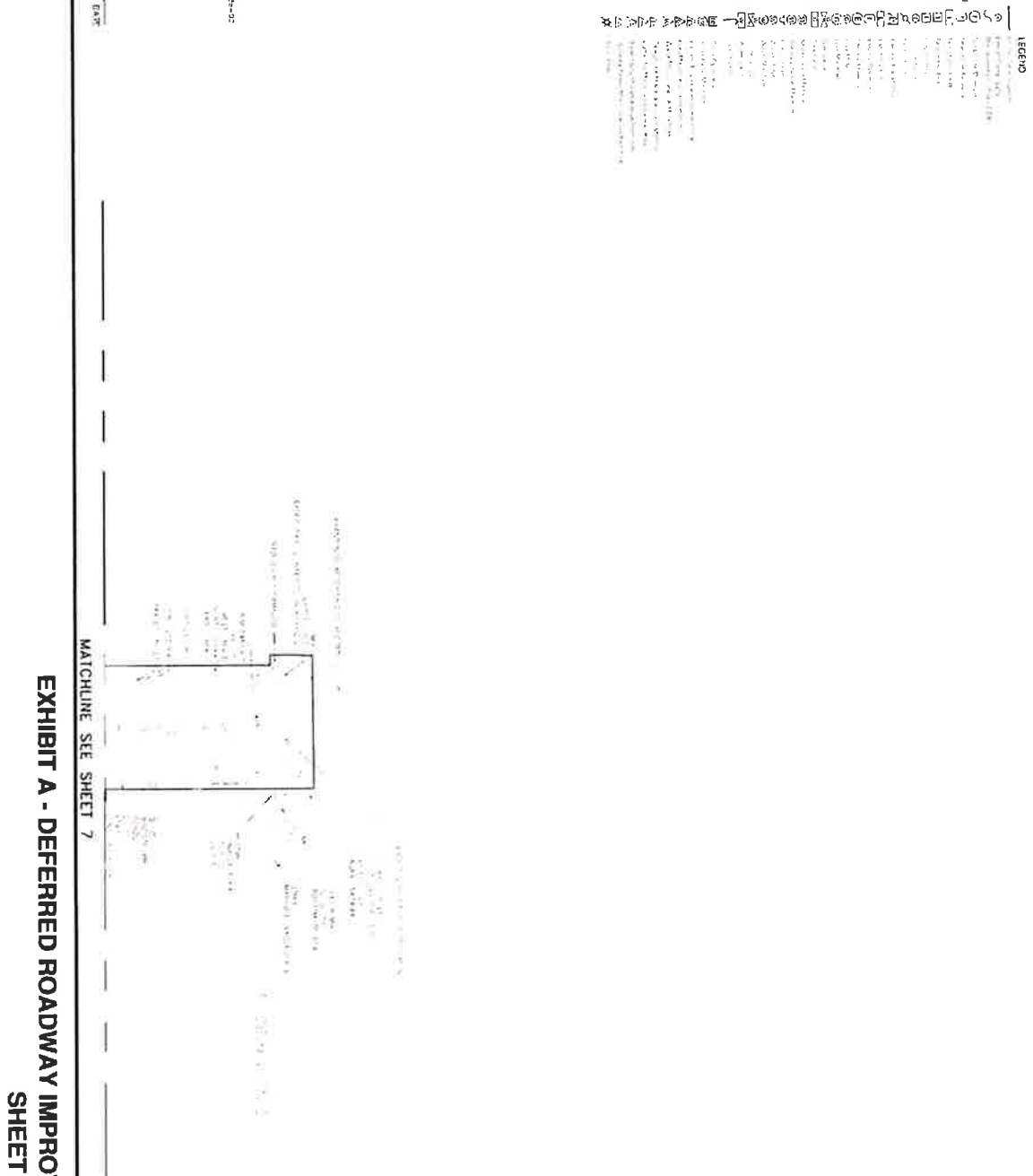
- Electric - K&I Energy
- Fiber Optic - Unicom Data
- Light Rail - Del Norte Street
- Water - Del Norte Street
- Storm Sewer - Del Norte Street
- Pipe - Del Norte Street
- Gas - Del Norte Street
- Water - Del Norte Street
- Storm Sewer - Del Norte Street
- Other - Del Norte Street

QUALITY LEVEL 'C'

- Sanitary Sewer - City of Aurora
- Storm Drain - City of Aurora
- Power - K&I Energy
- Telephone - Del Norte Street
- Gas - Del Norte Street
- Cable - Del Norte Street
- Water - Del Norte Street
- Storm Sewer - City of Aurora
- Other - City of Aurora

LEGEND


	12" Sewer
	18" Sewer
	24" Sewer
	30" Sewer
	36" Sewer
	42" Sewer
	48" Sewer
	54" Sewer
	60" Sewer
	72" Sewer
	84" Sewer
	96" Sewer
	108" Sewer
	120" Sewer
	132" Sewer
	144" Sewer
	156" Sewer
	168" Sewer
	180" Sewer
	192" Sewer
	204" Sewer
	216" Sewer
	228" Sewer
	240" Sewer
	252" Sewer
	264" Sewer
	276" Sewer
	288" Sewer
	300" Sewer

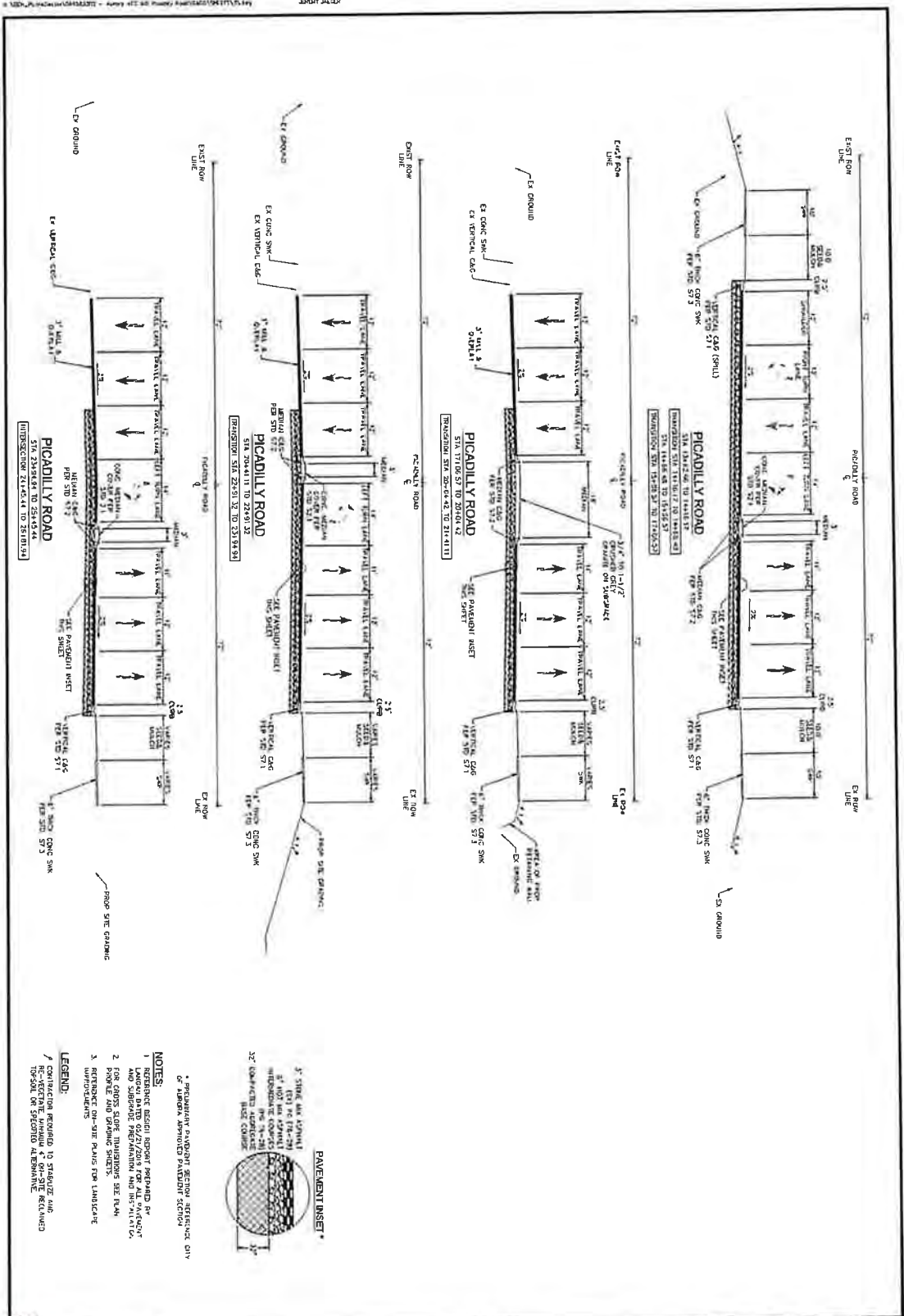


CITY OF AURORA
 231 S. MAIN STREET
 AURORA, IL 60181

APPROVED ON 07/11/2021

EXHIBIT A - DEFERRED ROADWAY IMPROVEMENTS SHEET 8 OF 48

<p>CITY OF AURORA AURORA COMMERCE CENTER SUBDIVISION FILING NO. 3 PICADILLY ROAD IMPROVEMENTS SUBSURFACE UTILITY ENGINEERING</p>		<table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <td style="text-align: center;">DATE</td> <td style="text-align: center;">BY</td> </tr> <tr> <td style="text-align: center;">10/24/2021</td> <td style="text-align: center;">JMS</td> </tr> </table>	DATE	BY	10/24/2021	JMS
DATE	BY					
10/24/2021	JMS					



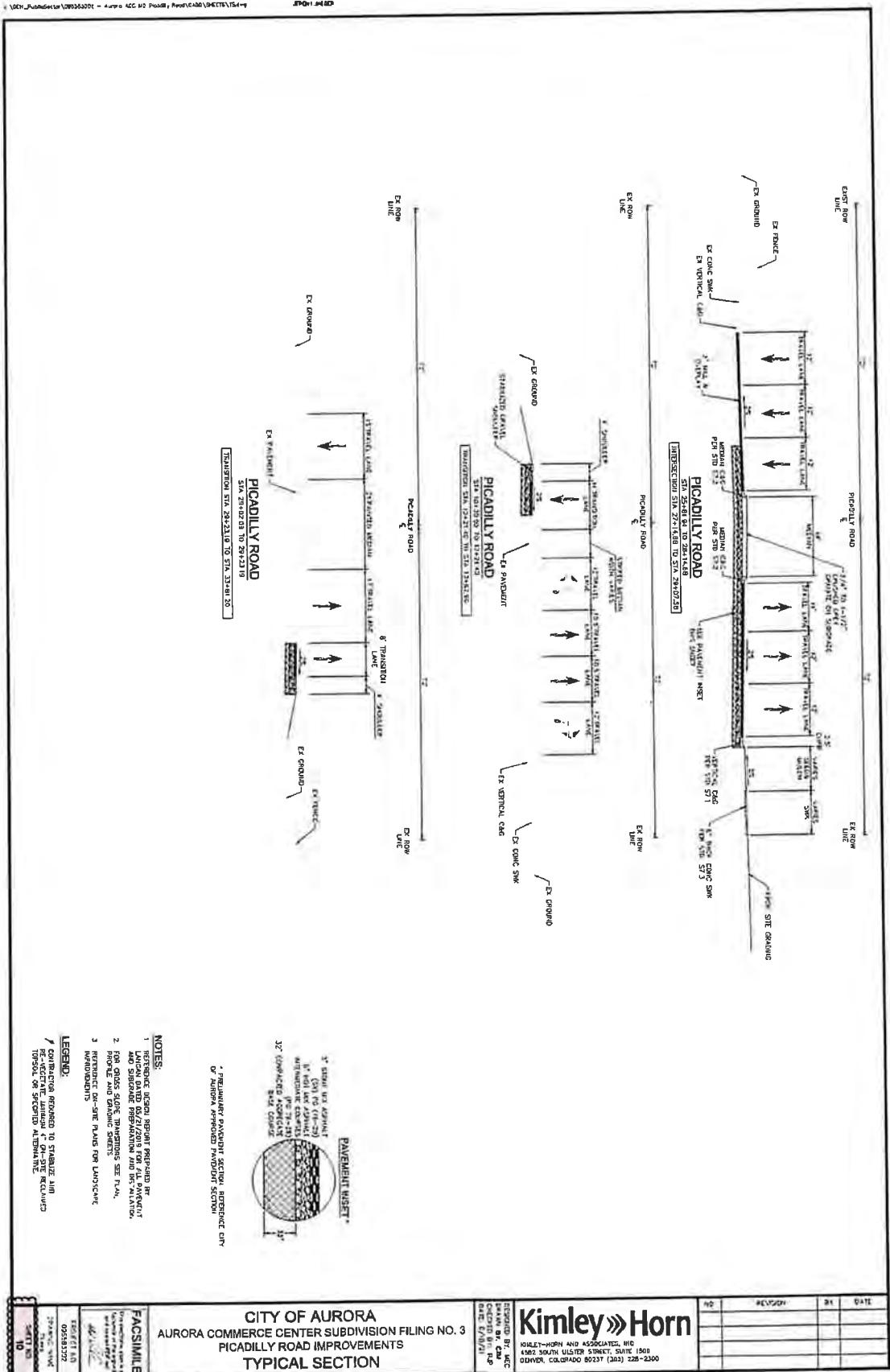
APPROVED ON 07/12/2021

EXHIBIT A - DEFERRED ROADWAY IMPROVEMENTS
SHEET 9 OF 48

NO.	REVISION	BY	DATE

CITY OF AURORA
 AURORA COMMERCE CENTER SUBDIVISION FILING NO. 3
 PICADILLY ROAD IMPROVEMENTS
 TYPICAL SECTION

Kimley»Horn
 CONSULTING ENGINEERS AND ARCHITECTS, INC.
 100 SOUTH MAIN STREET, SUITE 1500
 AURORA, ILLINOIS 60117 (312) 526-2300



APPROVED ON 07/12/2021

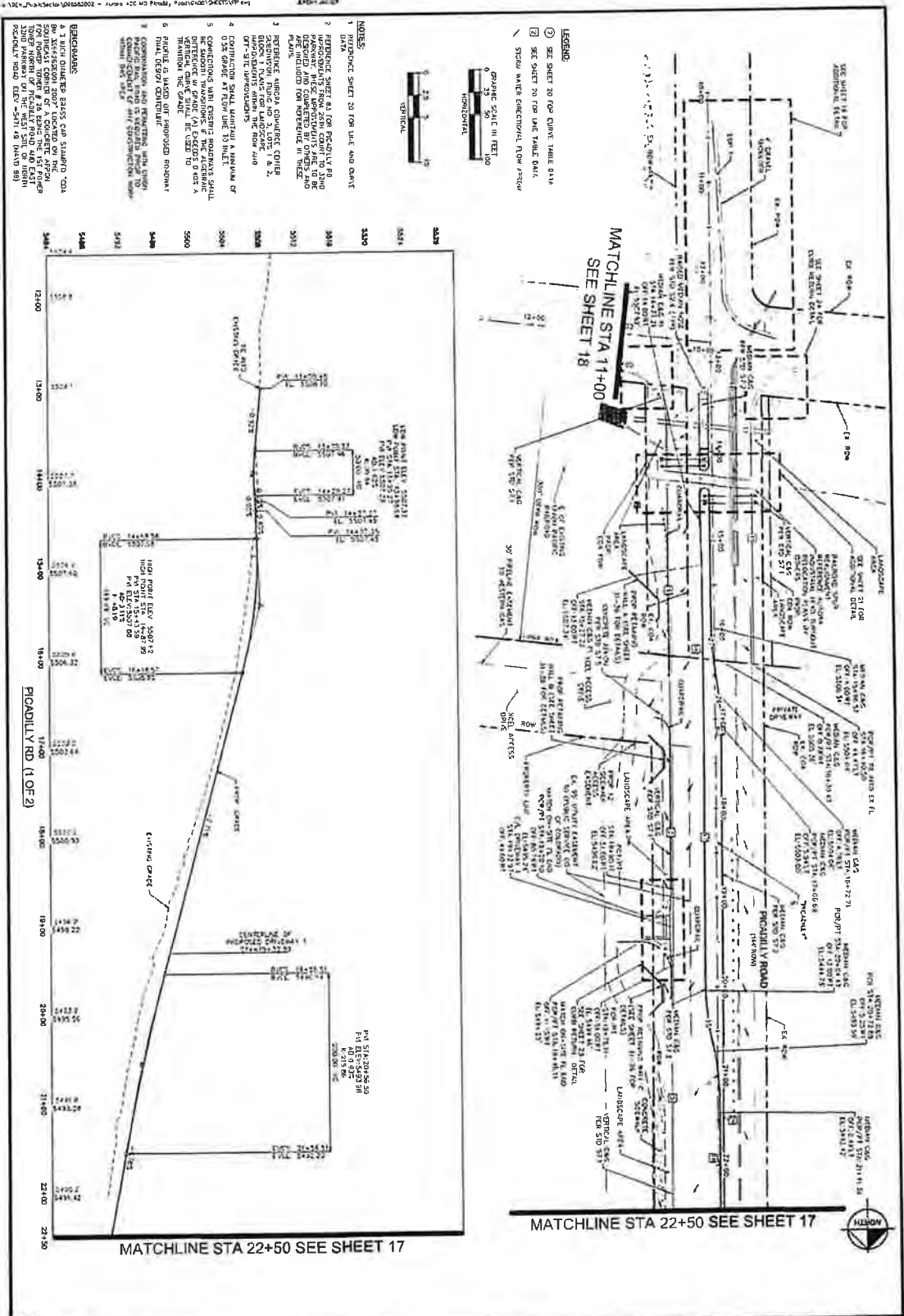
EXHIBIT A - DEFERRED ROADWAY IMPROVEMENTS
SHEET 10 OF 48

FACSIMILE
This drawing is a facsimile of the original drawing. It is not to be used for construction purposes. If you have any questions, please contact the engineer of record.

CITY OF AURORA
AURORA COMMERCE CENTER SUBDIVISION FILING NO. 3
PICADILLY ROAD IMPROVEMENTS
TYPICAL SECTION

Kimley-Horn
DESIGNED BY: JAC
DRAWN BY: CAC
CHECKED BY: JAC
DATE: 5/1/21
KIMLEY-HORN AND ASSOCIATES, INC.
1500 17TH STREET, SUITE 300
DENVER, COLORADO 80202 (303) 228-2300

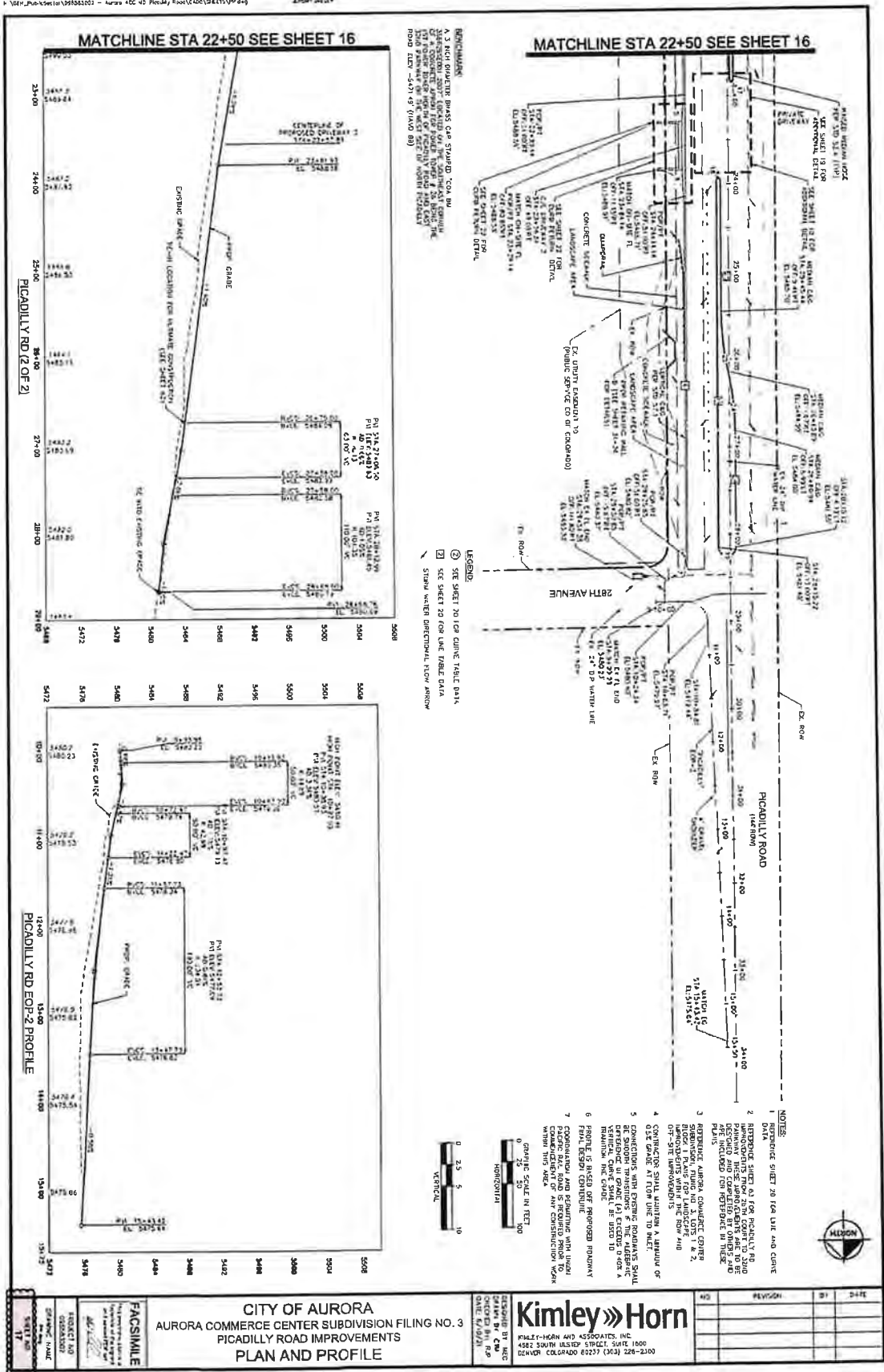
NO.	REVISION	BY	DATE



APPROVED ON 07/12/2021

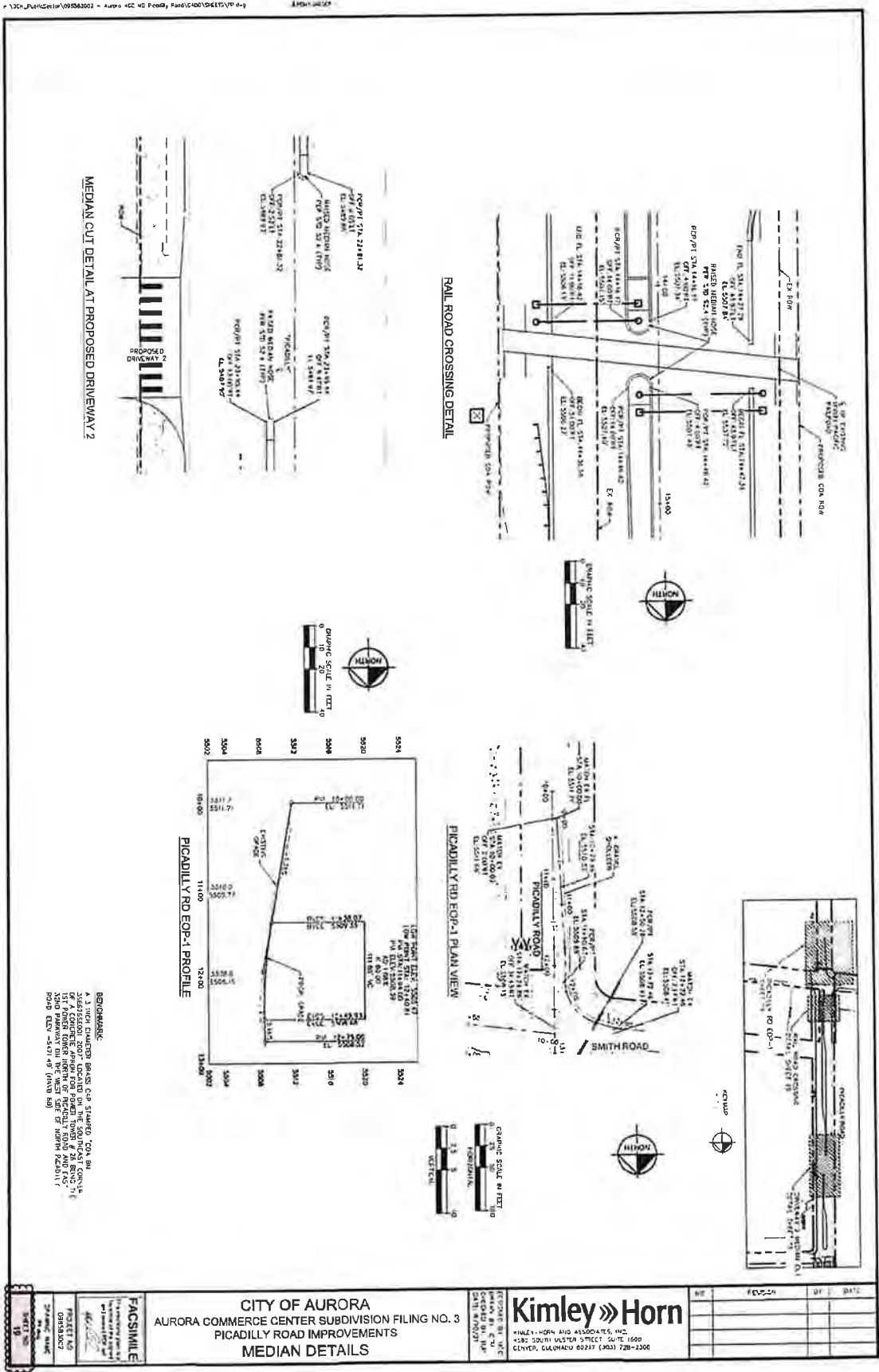
EXHIBIT A - DEFERRED ROADWAY IMPROVEMENTS
SHEET 11 OF 48

	CITY OF AURORA AURORA COMMERCE CENTER SUBDIVISION FILING NO. 3 PICADILLY ROAD IMPROVEMENTS PLAN AND PROFILE			NO	REVISION	DATE
	PROJECT NO. SHEET NO. SHEET TITLE	DESIGNED BY CHECKED BY DATE		DRAWN BY DATE	REVISION NO. REVISION DATE	REVISION DESCRIPTION



APPROVED ON 07/12/2021

EXHIBIT A - DEFERRED ROADWAY IMPROVEMENTS SHEET 12 OF 48



APPROVED ON 07/12/2021

EXHIBIT A - DEFERRED ROADWAY IMPROVEMENTS

SHEET 13 OF 48

FACSIMILE

PROJECT NO. 2021-00000000

DATE: 07/12/2021

SCALE: AS SHOWN

CITY OF AURORA
 AURORA COMMERCE CENTER SUBDIVISION FILING NO. 3
 PICADILLY ROAD IMPROVEMENTS
 MEDIAN DETAILS

Kimley»Horn

Kimley-Horn and Associates, Inc.
 4385 SOUTH MISTY STREET, SUITE 1000
 CHICAGO, ILLINOIS 60637 (847) 726-4300

NO.	DATE	BY	DESCRIPTION

LINE AND CURVE TABLE FOR SHEET 16

LINE TABLE		CURVE TABLE						
LINE	LENGTH	START	END	CHORD	BEARING	ORDINATE	ABSCISSA	TANGENT
1	373.62	490100.0000'E	517464.0000'E	373.62	89.3307°	0.0000	0.0000	0.0000
2	152.91	501074.717°W	501074.717°W	152.91	89.3307°	0.0000	0.0000	0.0000
3	132.03	501074.717°W	501074.717°W	132.03	89.3307°	0.0000	0.0000	0.0000
4	277.23	1020900.000°E	1020900.000°E	277.23	89.3307°	0.0000	0.0000	0.0000
5	246.93	1020900.000°E	1020900.000°E	246.93	89.3307°	0.0000	0.0000	0.0000
6	140.00	1020900.000°E	1020900.000°E	140.00	89.3307°	0.0000	0.0000	0.0000
7	343.00	1020900.000°E	1020900.000°E	343.00	89.3307°	0.0000	0.0000	0.0000
8	23.96	1020900.000°E	1020900.000°E	23.96	89.3307°	0.0000	0.0000	0.0000

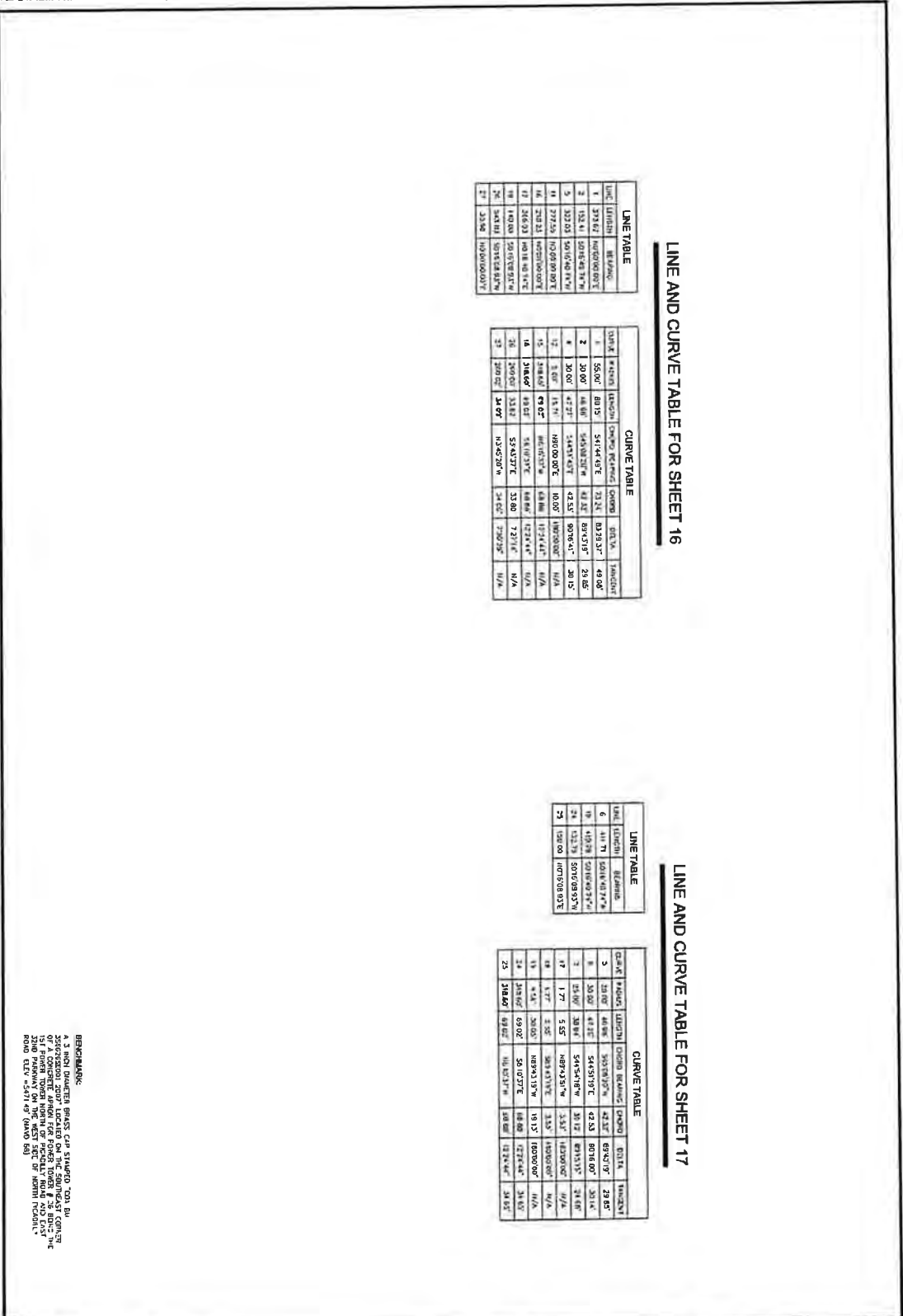
LINE AND CURVE TABLE FOR SHEET 17

LINE TABLE		CURVE TABLE						
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1	411.71	1020900.000°E	1020900.000°E	411.71	89.3307°	0.0000	0.0000	0.0000
2	110.00	1020900.000°E	1020900.000°E	110.00	89.3307°	0.0000	0.0000	0.0000
3	122.79	501074.717°W	501074.717°W	122.79	89.3307°	0.0000	0.0000	0.0000
4	100.00	1020900.000°E	1020900.000°E	100.00	89.3307°	0.0000	0.0000	0.0000

APPROVED ON 07/12/2021

EXHIBIT A - DEFERRED ROADWAY IMPROVEMENTS

SHEET 14 OF 48



REMARKS:
 A 3.5 FOOT DEDUCTIBLE BRIDGE IS SHOWN TO BE
 LOCATED AT THE INTERSECTION OF THE CENTER
 OF A CONCRETE ARCHWAY FOR POWER TOWER # 25 SINCE THE
 2500 FEET OF THE WEST SIDE OF NORTH PICADILLY
 ROAD CITY 2541149 (UNAD 80)

Kimley Horn
 FACSIMILE
 312.271.2200
 452 SOUTH WILSON STREET, SUITE 1500
 CHICAGO, ILLINOIS 60601-3400

CITY OF AURORA
 AURORA COMMERCE CENTER SUBDIVISION FILING NO. 3
 PICADILLY ROAD IMPROVEMENTS
 LINE AND CURVE TABLES

Kimley Horn
 KIMLEY-HORN AND ASSOCIATES, INC.
 452 SOUTH WILSON STREET, SUITE 1500
 CHICAGO, ILLINOIS 60601-3400
 PREPARED BY: MFC
 CHECKED BY: RRP
 DATE: 6/10/21

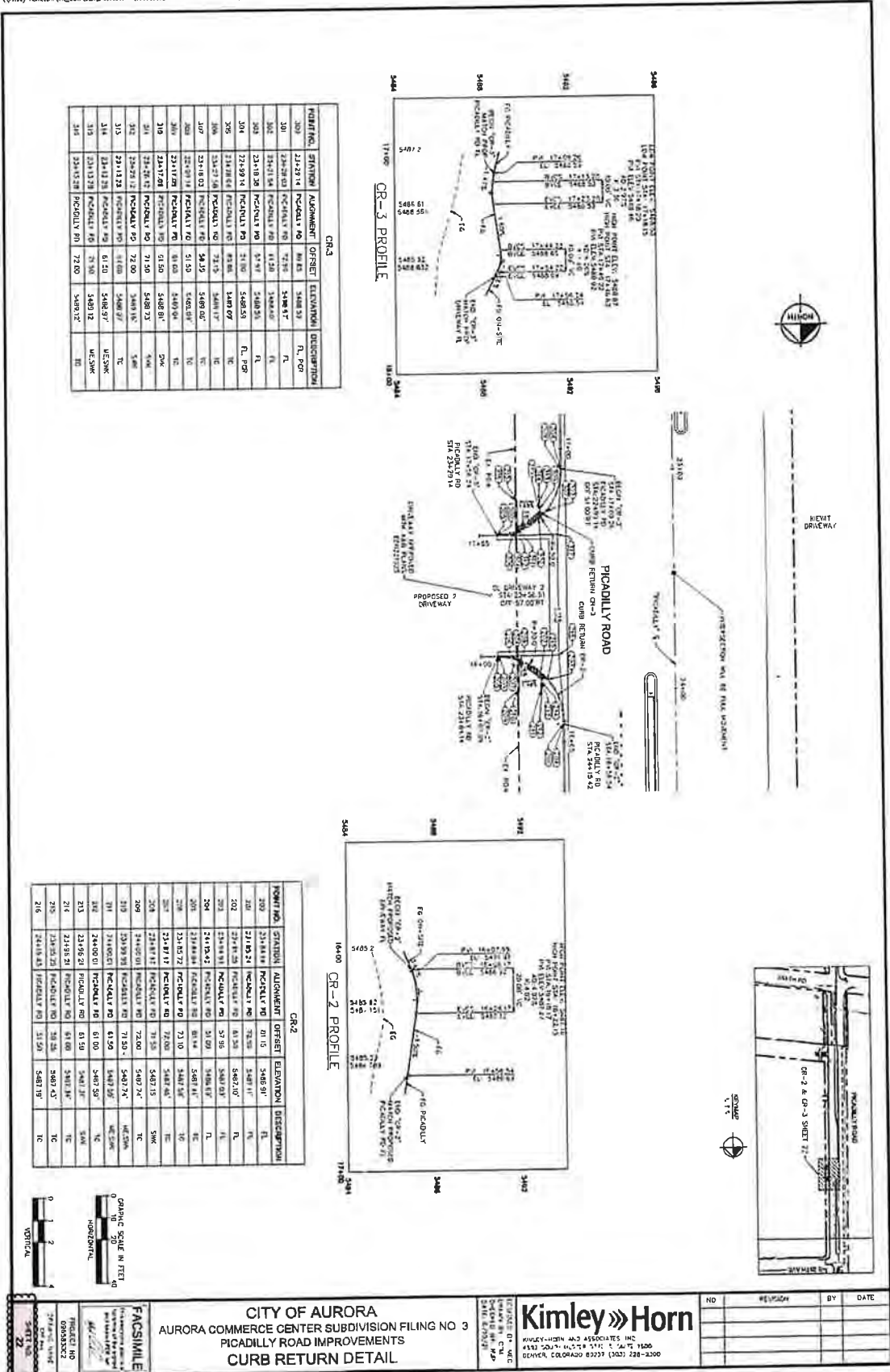
NO.	REVISION	BY	DATE

\\p01-pon-01\p\Local\DDA_P\315\Section\065082002 - Aurora KC RD Picadilly Road\CR-3\CR-3.dwg

APPROVED ON 07/12/2021

EXHIBIT A - DEFERRED ROADWAY IMPROVEMENTS

SHEET 16 OF 48



VERTICAL

SCALE

22

CITY OF AURORA
AURORA COMMERCE CENTER SUBDIVISION FILING NO 3
PICADILLY ROAD IMPROVEMENTS
CURB RETURN DETAIL

Kimley Horn
KIMLEY-HORN AND ASSOCIATES, INC.
4112 COLLEGE AVENUE, SUITE 200
DENVER, COLORADO 80202 (303) 733-2500

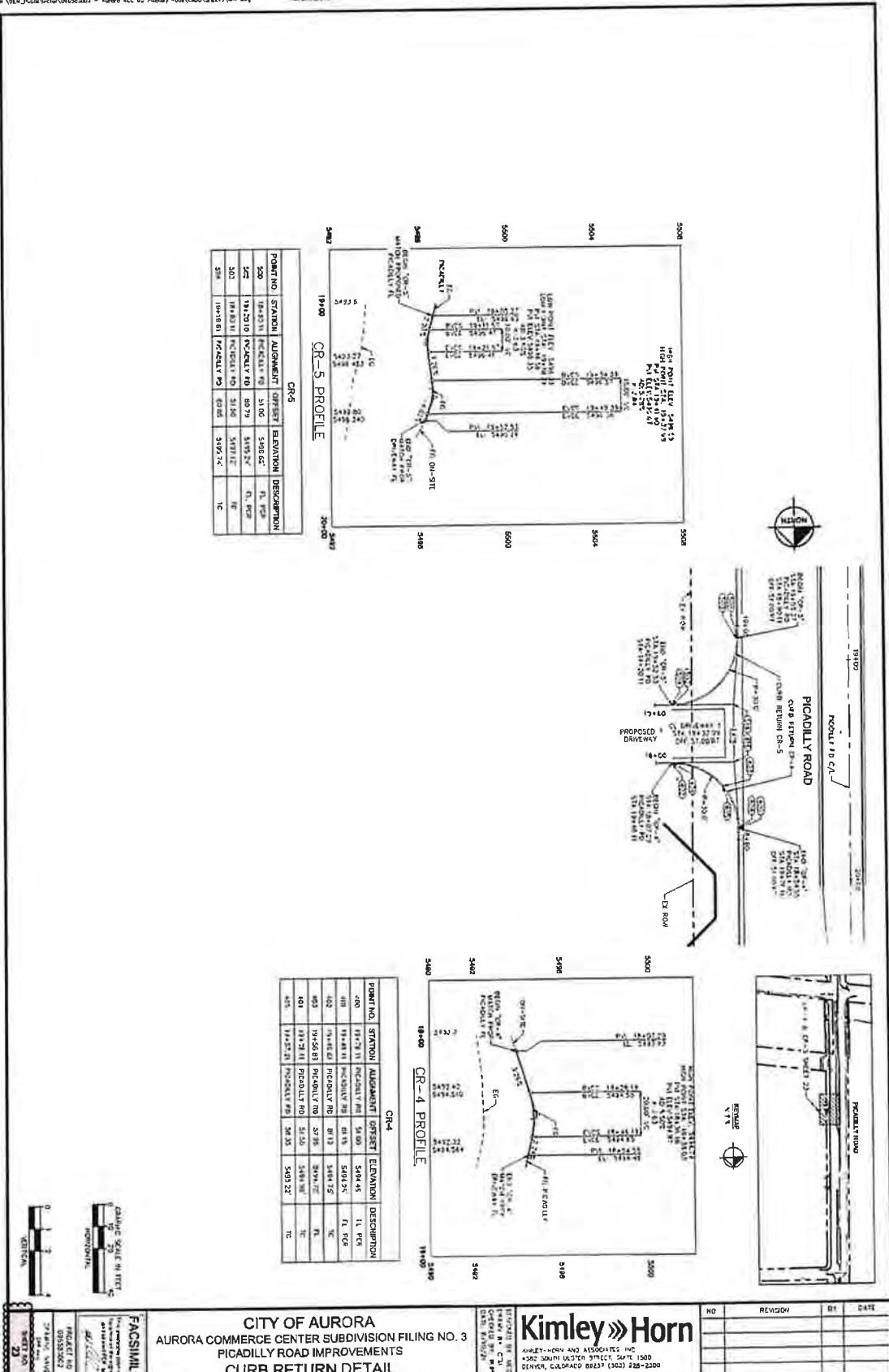
NO.	REVISION	BY	DATE

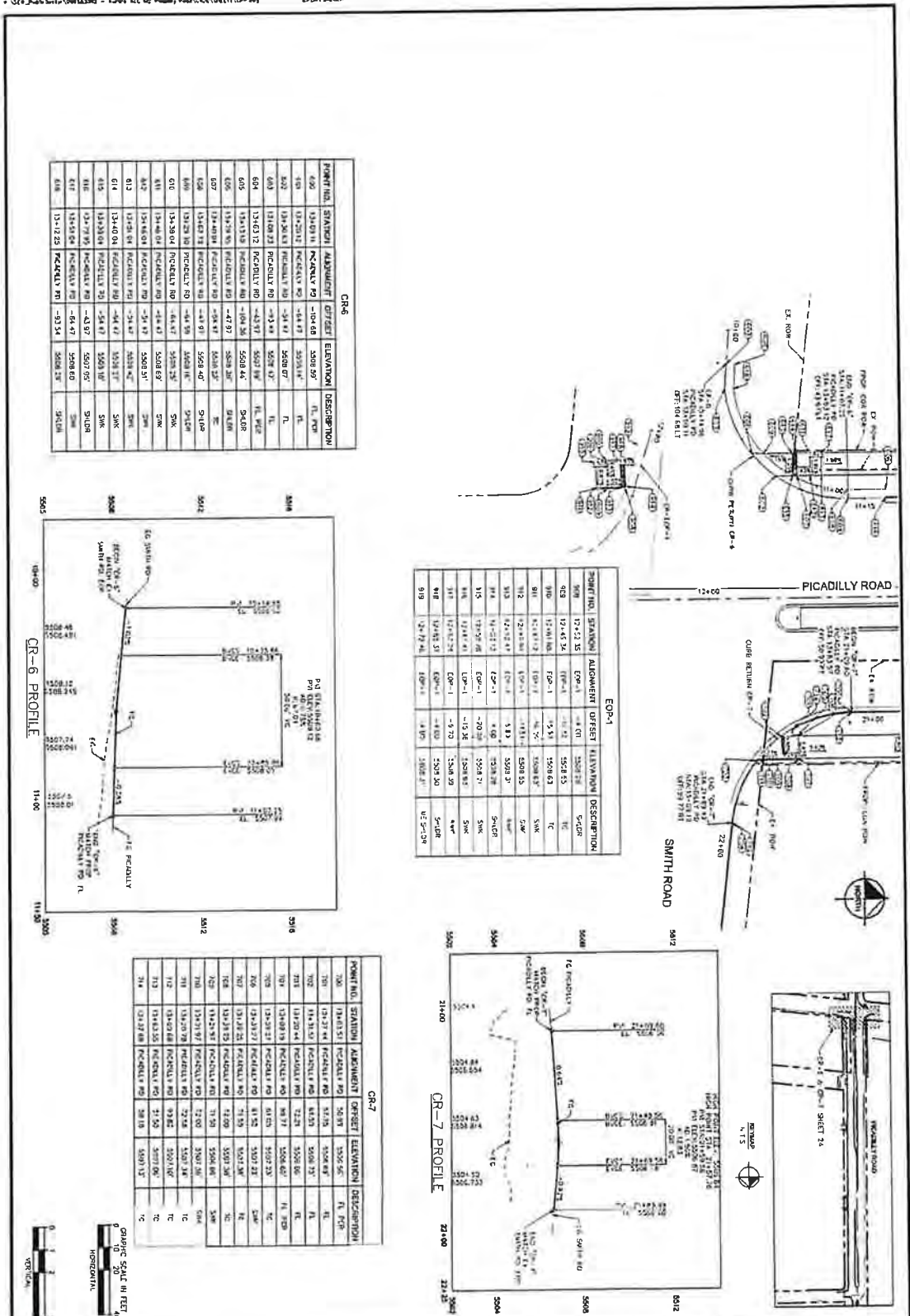
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APPROVED ON 07/12/2021

EXHIBIT A - DEFERRED ROADWAY IMPROVEMENTS

SHEET 17 OF 48





EOP-1

POINT NO.	STATION	ALIGNMENT	OFFSET	ELEVATION	DESCRIPTION
909	12+22.35	CRP-1	4.00	5208.87	5'-0" CURB
910	12+43.25	CRP-1	4.00	5208.83	5'-0" CURB
911	12+64.15	CRP-1	4.00	5208.79	5'-0" CURB
912	12+85.05	CRP-1	4.00	5208.75	5'-0" CURB
913	13+05.95	CRP-1	4.00	5208.71	5'-0" CURB
914	13+26.85	CRP-1	4.00	5208.67	5'-0" CURB
915	13+47.75	CRP-1	4.00	5208.63	5'-0" CURB
916	13+68.65	CRP-1	4.00	5208.59	5'-0" CURB
917	13+89.55	CRP-1	4.00	5208.55	5'-0" CURB
918	14+10.45	CRP-1	4.00	5208.51	5'-0" CURB
919	14+31.35	CRP-1	4.00	5208.47	5'-0" CURB

CR-7 PROFILE

CR-6

POINT NO.	STATION	ALIGNMENT	OFFSET	ELEVATION	DESCRIPTION
609	13+00.00	CRP-1	0.00	5208.57	11'-0" FIN
610	13+20.00	CRP-1	0.00	5208.57	11'-0" FIN
611	13+40.00	CRP-1	0.00	5208.57	11'-0" FIN
612	13+60.00	CRP-1	0.00	5208.57	11'-0" FIN
613	13+80.00	CRP-1	0.00	5208.57	11'-0" FIN
614	14+00.00	CRP-1	0.00	5208.57	11'-0" FIN
615	14+20.00	CRP-1	0.00	5208.57	11'-0" FIN
616	14+40.00	CRP-1	0.00	5208.57	11'-0" FIN
617	14+60.00	CRP-1	0.00	5208.57	11'-0" FIN
618	14+80.00	CRP-1	0.00	5208.57	11'-0" FIN
619	15+00.00	CRP-1	0.00	5208.57	11'-0" FIN

CR-6 PROFILE

CR-7

POINT NO.	STATION	ALIGNMENT	OFFSET	ELEVATION	DESCRIPTION
700	11+00.00	CRP-1	0.00	5208.57	11'-0" FIN
701	11+20.00	CRP-1	0.00	5208.57	11'-0" FIN
702	11+40.00	CRP-1	0.00	5208.57	11'-0" FIN
703	11+60.00	CRP-1	0.00	5208.57	11'-0" FIN
704	11+80.00	CRP-1	0.00	5208.57	11'-0" FIN
705	12+00.00	CRP-1	0.00	5208.57	11'-0" FIN
706	12+20.00	CRP-1	0.00	5208.57	11'-0" FIN
707	12+40.00	CRP-1	0.00	5208.57	11'-0" FIN
708	12+60.00	CRP-1	0.00	5208.57	11'-0" FIN
709	12+80.00	CRP-1	0.00	5208.57	11'-0" FIN
710	13+00.00	CRP-1	0.00	5208.57	11'-0" FIN
711	13+20.00	CRP-1	0.00	5208.57	11'-0" FIN
712	13+40.00	CRP-1	0.00	5208.57	11'-0" FIN
713	13+60.00	CRP-1	0.00	5208.57	11'-0" FIN
714	13+80.00	CRP-1	0.00	5208.57	11'-0" FIN

APPROVED ON 07/12/2021

EXHIBIT A - DEFERRED ROADWAY IMPROVEMENTS
SHEET 18 OF 48

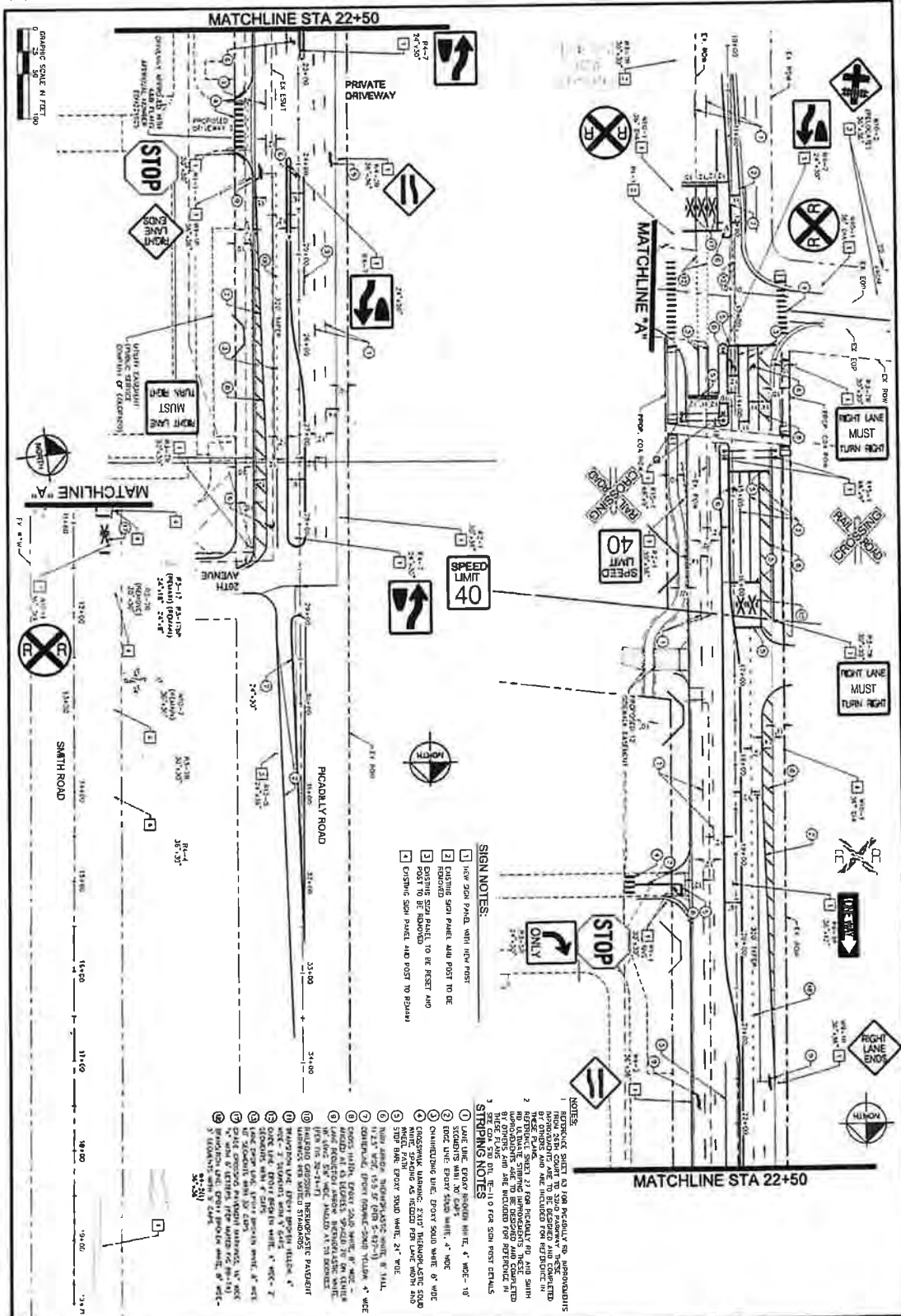
CITY OF AURORA
AURORA COMMERCE CENTER SUBDIVISION FILING NO. 3
PICADILLY ROAD IMPROVEMENTS
CURB RETURN DETAILS

Kimley»Horn
KIMLEY-HORN AND ASSOCIATES, INC.
1500 11TH AVENUE, SUITE 200
DENVER, COLORADO 80202 (303) 733-2222

PROJECT NO. 27-1000-0000
SHEET NO. 18

NO.	REVISION	BY	DATE

\\p01\proj\cadd\civil\2011\20110714\Aurora\Aurora_City_Center_Subdivision\20110714\20110714.dwg



APPROVED ON 07/12/2021

- SIGN NOTES:**
- 1 NEW SIGN PANEL WITH NEW POST
 - 2 EXISTING SIGN PANEL AND POST TO BE
 - 3 EXISTING SIGN PANEL TO BE RESET AND
 - 4 EXISTING SIGN PANEL AND POST TO BE

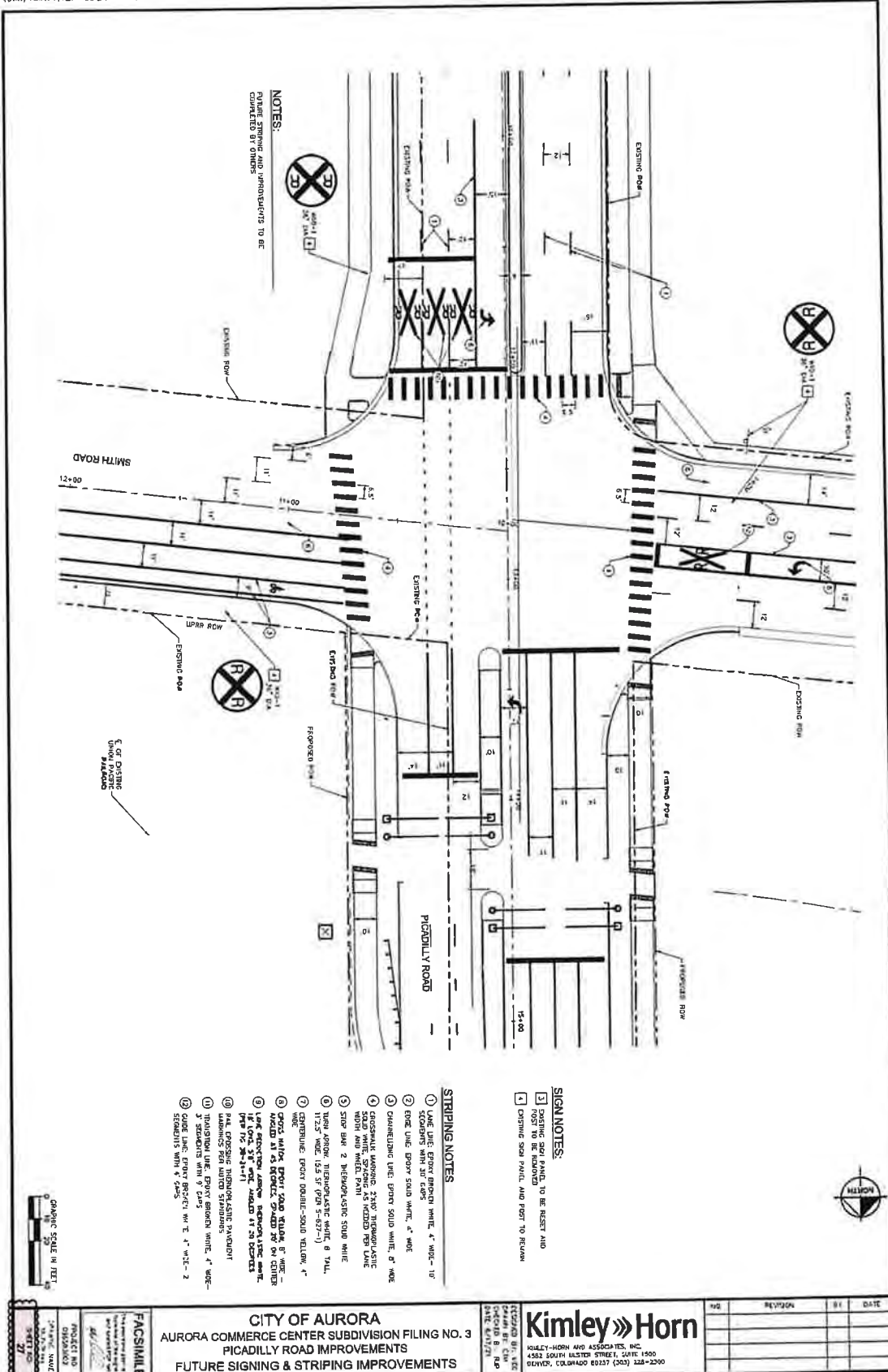
- STRIPING NOTES:**
- 1 LANE LINE EXIST. REMOVE. WIDE. 4" WIDE - 18"
 - 2 STRIPING EXIST. REMOVE. WIDE. 4" WIDE
 - 3 CONSTRUCTION LINE. FRONT SIGN WHITE. 4" WIDE
 - 4 CONSTRUCTION LINE. 210" HIGH. PLASTIC SIGN WHITE. 30" WIDE. 24" HIGH. 24" WIDE
 - 5 STOP MARK. EXIST. REMOVE. 24" WIDE
 - 6 NEW SIGN. HIGH. 24" WIDE. 24" WIDE
 - 7 11.25" WIDE. 0.53" (0.53" - 11.25")
 - 8 CONSTRUCTION LINE. 210" HIGH. PLASTIC SIGN WHITE. 30" WIDE. 24" HIGH. 24" WIDE
 - 9 LANE REDUCTION AHEAD. REDUCED. WHITE
 - 10 LANE REDUCTION AHEAD. REDUCED. WHITE
 - 11 11.25" WIDE. 0.53" (0.53" - 11.25")
 - 12 HORIZONTAL STOP. 24" WIDE. 24" WIDE
 - 13 HORIZONTAL STOP. 24" WIDE. 24" WIDE
 - 14 HORIZONTAL STOP. 24" WIDE. 24" WIDE
 - 15 HORIZONTAL STOP. 24" WIDE. 24" WIDE
 - 16 HORIZONTAL STOP. 24" WIDE. 24" WIDE
 - 17 HORIZONTAL STOP. 24" WIDE. 24" WIDE
 - 18 HORIZONTAL STOP. 24" WIDE. 24" WIDE
 - 19 HORIZONTAL STOP. 24" WIDE. 24" WIDE
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 - 28 HORIZONTAL STOP. 24" WIDE. 24" WIDE
 - 29 HORIZONTAL STOP. 24" WIDE. 24" WIDE
 - 30 HORIZONTAL STOP. 24" WIDE. 24" WIDE
 - 31 HORIZONTAL STOP. 24" WIDE. 24" WIDE
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 - 89 HORIZONTAL STOP. 24" WIDE. 24" WIDE
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 - 91 HORIZONTAL STOP. 24" WIDE. 24" WIDE
 - 92 HORIZONTAL STOP. 24" WIDE. 24" WIDE
 - 93 HORIZONTAL STOP. 24" WIDE. 24" WIDE
 - 94 HORIZONTAL STOP. 24" WIDE. 24" WIDE
 - 95 HORIZONTAL STOP. 24" WIDE. 24" WIDE
 - 96 HORIZONTAL STOP. 24" WIDE. 24" WIDE
 - 97 HORIZONTAL STOP. 24" WIDE. 24" WIDE
 - 98 HORIZONTAL STOP. 24" WIDE. 24" WIDE
 - 99 HORIZONTAL STOP. 24" WIDE. 24" WIDE
 - 100 HORIZONTAL STOP. 24" WIDE. 24" WIDE

EXHIBIT A - DEFERRED ROADWAY IMPROVEMENTS
SHEET 20 OF 48

	PROJECT NO. 2011-001	CITY OF AURORA AURORA COMMERCE CENTER SUBDIVISION FILING NO. 3 PICADILLY ROAD IMPROVEMENTS ULTIMATE SIGNING AND STRIPING PLAN		NO	REVISION	BY	DATE
	DRAWN BY: DATE:						

\\m-horn.com\csm\l_email\DDI_PublicSector\09636501 - Aurora ACC 40 Picadilly Road\CA010101\27P\27P.DWG

APPROVED ON 07/12/2021



NOTES:
FUTURE SIGNING AND STRIPING IMPROVEMENTS TO BE COMPLETED BY OTHERS



- STRIPING NOTES**
- 1 LANE LINE, EPoxy BLENCH WHITE, 4" WIDE - UP
 - 2 SCORERS WITH 3/8" GAPS
 - 3 EDGE LINE, EPoxy SOLID WHITE, 6" WIDE
 - 4 CHANNELING LINE, EPoxy SOLID WHITE, 6" WIDE
 - 5 RESERVATION MARKING, 3"X3" THERMOPLASTIC SOLID WHITE, SPACING AS NOTED PER PLAN WITH AND WHEEL PAINT
 - 6 STOP BAR, 2" THERMOPLASTIC SOLID WHITE
 - 7 TYPICAL ARROW, THERMOPLASTIC WHITE, 6" TALL, 11"X25" WIDE (PER 5-637-1)
 - 8 WHEEL MARKING, TYPICAL 3"X3" THERMOPLASTIC SOLID WHITE, SPACING AS NOTED PER PLAN
 - 9 CENTER LINE, TYPICAL 3"X3" THERMOPLASTIC SOLID WHITE, SPACING AS NOTED PER PLAN
 - 10 CENTER LINE, TYPICAL 3"X3" THERMOPLASTIC SOLID WHITE, SPACING AS NOTED PER PLAN
 - 11 TYPICAL LINE, EPoxy BLENCH WHITE, 4" WIDE - 2" SPACING WITH 3" GAPS
 - 12 CURB LINE, EPoxy BLENCH WHITE, 4" WIDE - 2" SPACING WITH 4" GAPS

- SIGN NOTES:**
- 1 EXISTING SIGN PANEL, TO BE RESET AND POST TO BE REMOVED
 - 2 EXISTING SIGN PANEL, TO BE RESET AND POST TO BE REMOVED
 - 3 EXISTING SIGN PANEL, TO BE RESET AND POST TO BE REMOVED



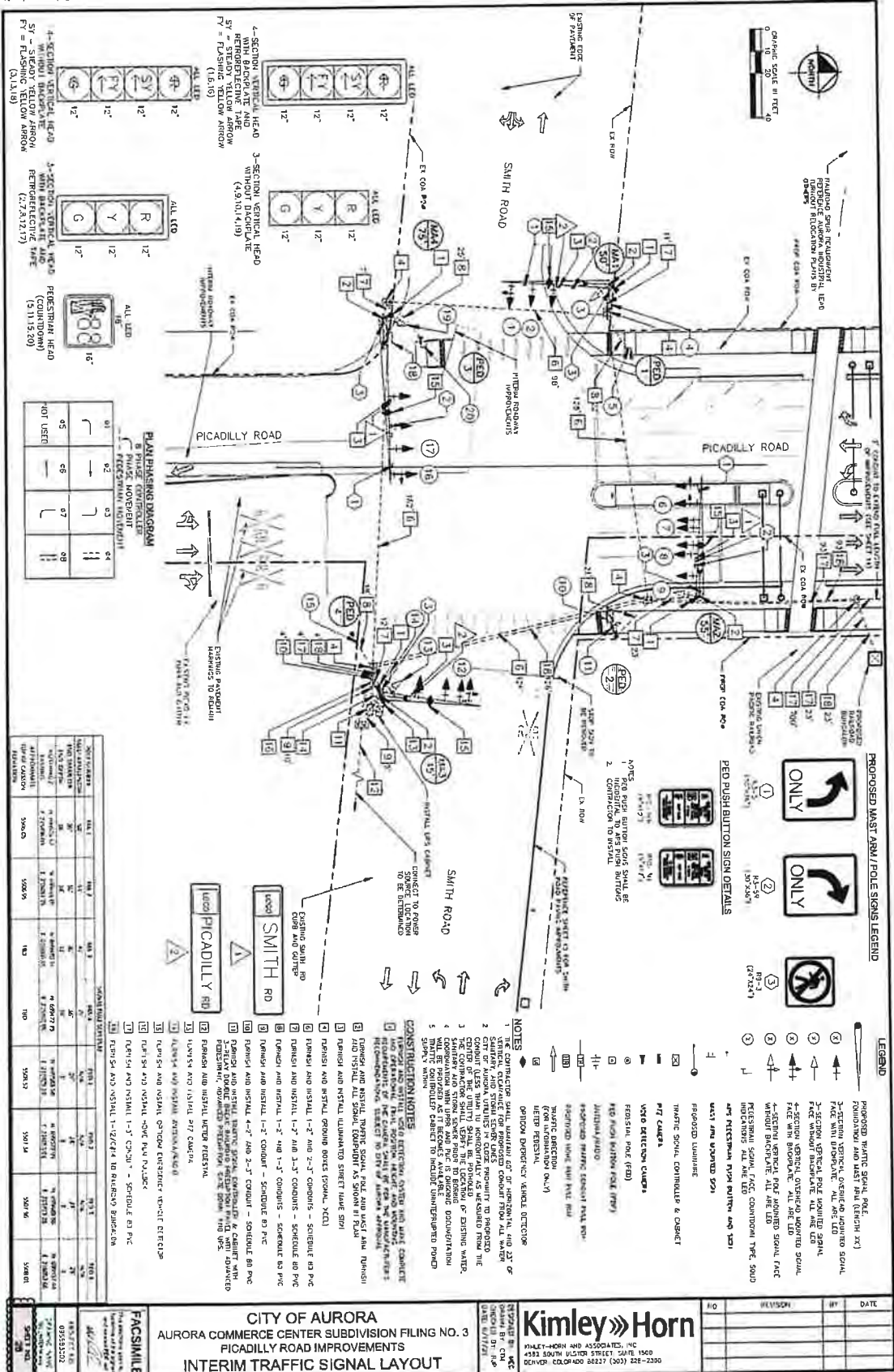
EXHIBIT A - DEFERRED ROADWAY IMPROVEMENTS
SHEET 21 OF 48

CITY OF AURORA
AURORA COMMERCE CENTER SUBDIVISION FILING NO. 3
PICADILLY ROAD IMPROVEMENTS
FUTURE SIGNING & STRIPING IMPROVEMENTS

Kimley»Horn
KIMLEY-HORN AND ASSOCIATES, INC.
1500 SOUTH BELT STREET, SUITE 1000
DENVER, COLORADO 80202 (303) 733-2200

NO.	REVISION	BY	DATE

\\pww-horn.com\pww\user\pww\2022\20220712\20220712\20220712.dwg - AutoCAD 2016 Plot/CAD130.ctb/20220712.dwg



1-SECTION VERTICAL HEAD WITH REFLECTIVE TAPE
SY - STRAY YELLOW ARROW WITH REFLECTIVE TAPE
FY - FLASHING YELLOW ARROW WITH REFLECTIVE TAPE (S.11.15.20)

2-SECTION VERTICAL HEAD WITH REFLECTIVE TAPE
RY - REFLECTIVE YELLOW ARROW WITH REFLECTIVE TAPE (S.11.15.20)

3-SECTION VERTICAL HEAD WITH REFLECTIVE TAPE
RY - REFLECTIVE YELLOW ARROW WITH REFLECTIVE TAPE (S.11.15.20)

4-SECTION VERTICAL HEAD WITH REFLECTIVE TAPE
RY - REFLECTIVE YELLOW ARROW WITH REFLECTIVE TAPE (S.11.15.20)

5-SECTION VERTICAL HEAD WITH REFLECTIVE TAPE
RY - REFLECTIVE YELLOW ARROW WITH REFLECTIVE TAPE (S.11.15.20)

6-SECTION VERTICAL HEAD WITH REFLECTIVE TAPE
RY - REFLECTIVE YELLOW ARROW WITH REFLECTIVE TAPE (S.11.15.20)

7-SECTION VERTICAL HEAD WITH REFLECTIVE TAPE
RY - REFLECTIVE YELLOW ARROW WITH REFLECTIVE TAPE (S.11.15.20)

8-SECTION VERTICAL HEAD WITH REFLECTIVE TAPE
RY - REFLECTIVE YELLOW ARROW WITH REFLECTIVE TAPE (S.11.15.20)

9-SECTION VERTICAL HEAD WITH REFLECTIVE TAPE
RY - REFLECTIVE YELLOW ARROW WITH REFLECTIVE TAPE (S.11.15.20)

10-SECTION VERTICAL HEAD WITH REFLECTIVE TAPE
RY - REFLECTIVE YELLOW ARROW WITH REFLECTIVE TAPE (S.11.15.20)

11-SECTION VERTICAL HEAD WITH REFLECTIVE TAPE
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12-SECTION VERTICAL HEAD WITH REFLECTIVE TAPE
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13-SECTION VERTICAL HEAD WITH REFLECTIVE TAPE
RY - REFLECTIVE YELLOW ARROW WITH REFLECTIVE TAPE (S.11.15.20)

14-SECTION VERTICAL HEAD WITH REFLECTIVE TAPE
RY - REFLECTIVE YELLOW ARROW WITH REFLECTIVE TAPE (S.11.15.20)

15-SECTION VERTICAL HEAD WITH REFLECTIVE TAPE
RY - REFLECTIVE YELLOW ARROW WITH REFLECTIVE TAPE (S.11.15.20)

16-SECTION VERTICAL HEAD WITH REFLECTIVE TAPE
RY - REFLECTIVE YELLOW ARROW WITH REFLECTIVE TAPE (S.11.15.20)

17-SECTION VERTICAL HEAD WITH REFLECTIVE TAPE
RY - REFLECTIVE YELLOW ARROW WITH REFLECTIVE TAPE (S.11.15.20)

18-SECTION VERTICAL HEAD WITH REFLECTIVE TAPE
RY - REFLECTIVE YELLOW ARROW WITH REFLECTIVE TAPE (S.11.15.20)

19-SECTION VERTICAL HEAD WITH REFLECTIVE TAPE
RY - REFLECTIVE YELLOW ARROW WITH REFLECTIVE TAPE (S.11.15.20)

20-SECTION VERTICAL HEAD WITH REFLECTIVE TAPE
RY - REFLECTIVE YELLOW ARROW WITH REFLECTIVE TAPE (S.11.15.20)

21-SECTION VERTICAL HEAD WITH REFLECTIVE TAPE
RY - REFLECTIVE YELLOW ARROW WITH REFLECTIVE TAPE (S.11.15.20)

22-SECTION VERTICAL HEAD WITH REFLECTIVE TAPE
RY - REFLECTIVE YELLOW ARROW WITH REFLECTIVE TAPE (S.11.15.20)

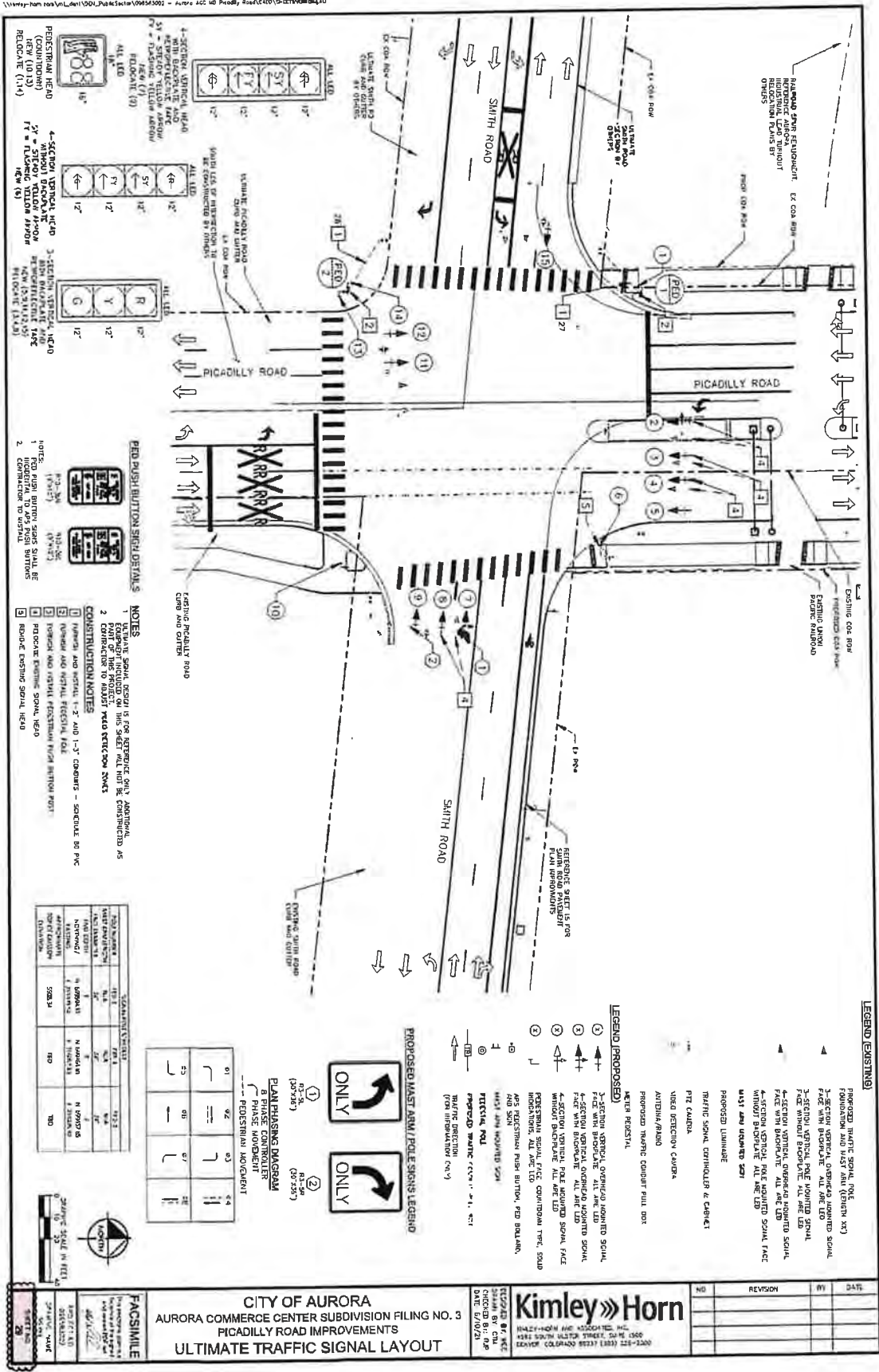
APPROVED ON 07/12/2021

EXHIBIT A - DEFERRED ROADWAY IMPROVEMENTS SHEET 22 OF 48

NO	REVISION	DATE

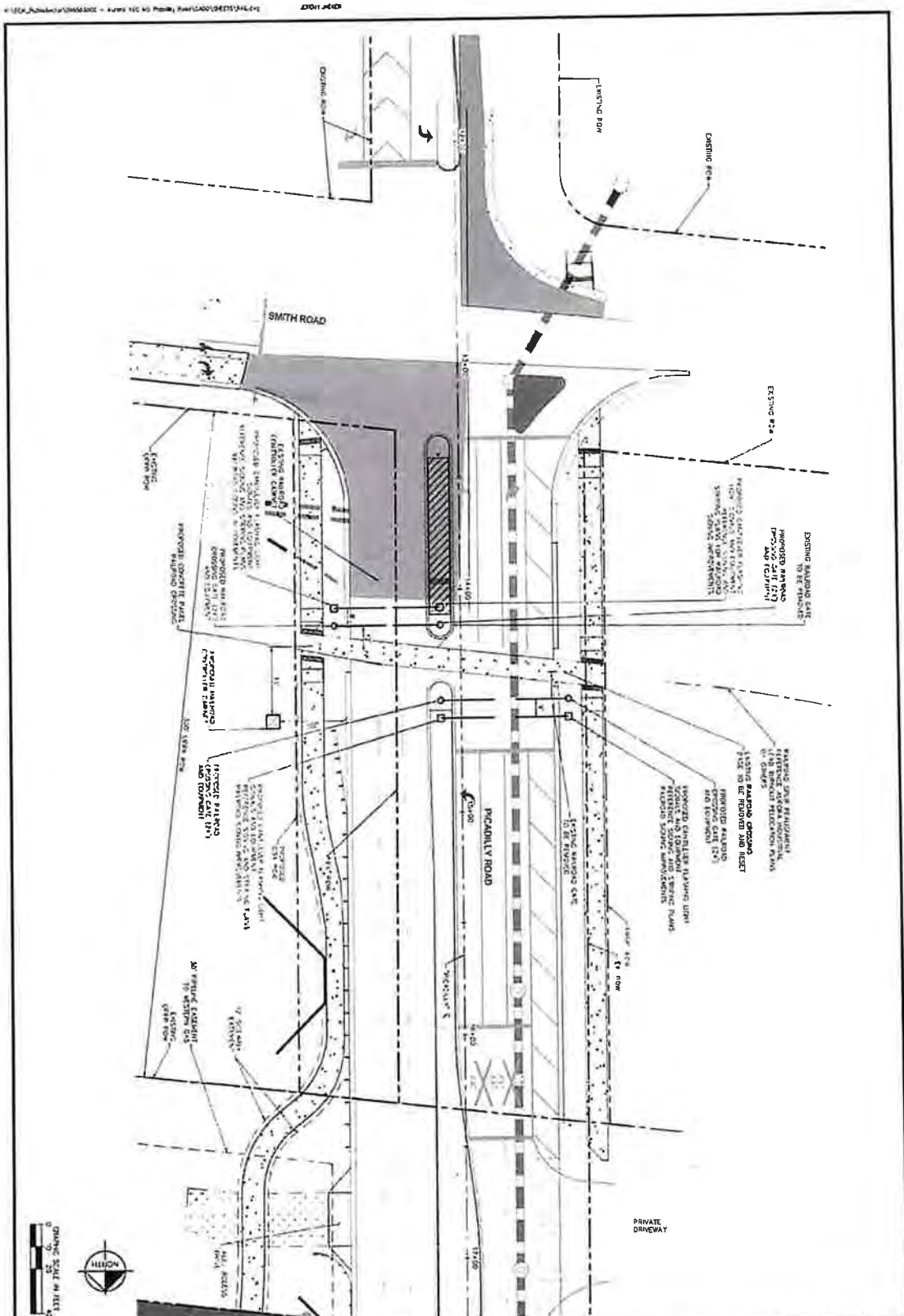
CITY OF AURORA
AURORA COMMERCE CENTER SUBDIVISION FILING NO. 3
PICADILLY ROAD IMPROVEMENTS
INTERIM TRAFFIC SIGNAL LAYOUT

Kimley Horn
ENGINEERS, ARCHITECTS, PLANNERS
1000 N. STATE STREET, SUITE 100
AURORA, IL 60501
TEL: 630.206.8300 FAX: 630.206.8301
WWW.KIMLEYHORN.COM



APPROVED ON 07/12/2021

EXHIBIT A - DEFERRED ROADWAY IMPROVEMENTS
SHEET 23 OF 48



APPROVED ON 07/12/2021

EXHIBIT A - DEFERRED ROADWAY IMPROVEMENTS
SHEET 24 OF 48

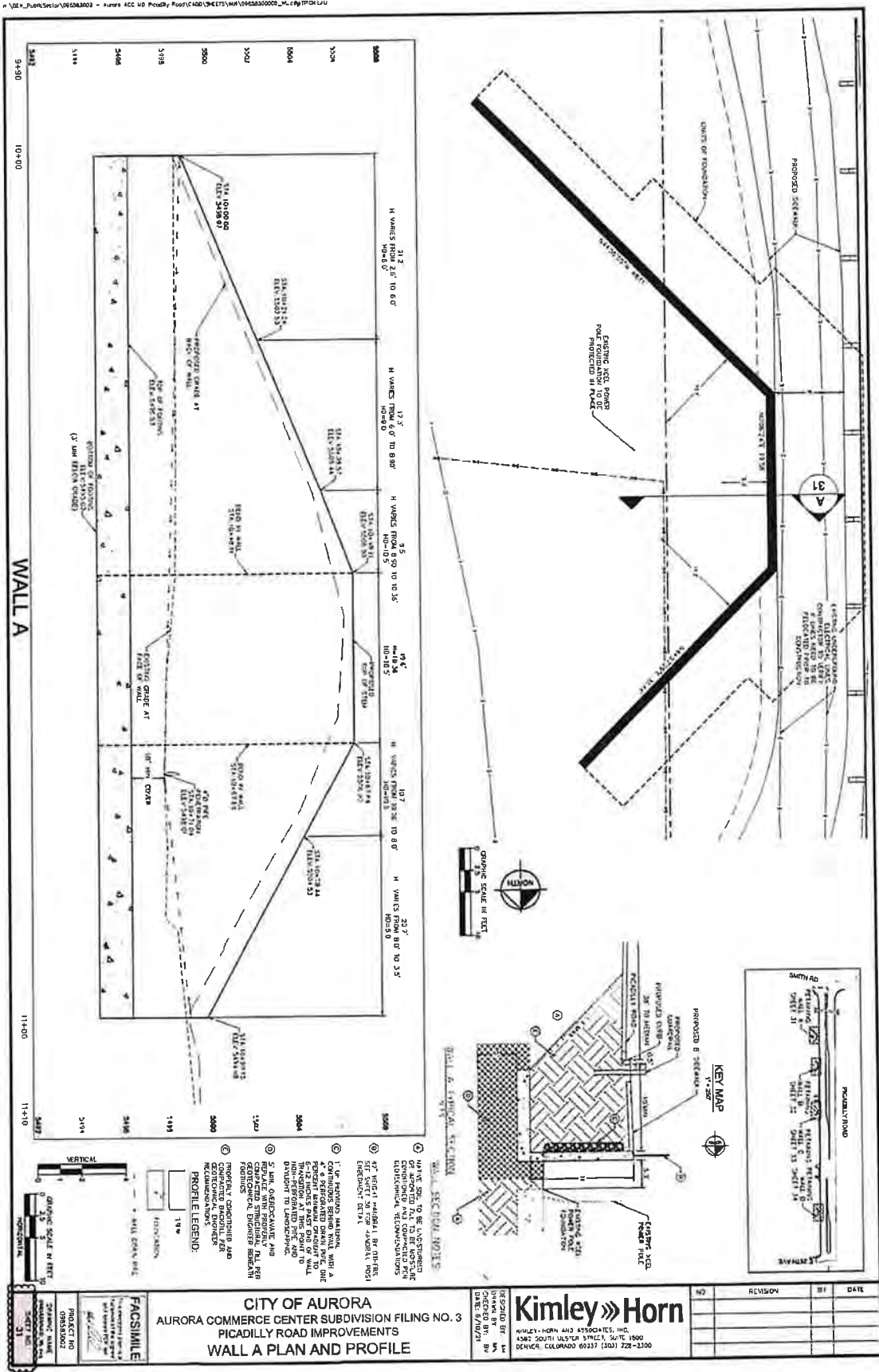
REV	REVISION	BY	DATE

CITY OF AURORA
 AURORA COMMERCE CENTER SUBDIVISION FILING NO. 3
 PICADILLY ROAD IMPROVEMENTS
 RAILROAD CROSSING

Kimley»Horn
 KIMLEY-HORN AND ASSOCIATES, INC.
 4382 SOUTH ULSTER STREET, SUITE 1500
 DENVER, COLORADO 80237 (303) 728-2300

PROJECT NO. 15-0001
 DRAWN BY: CM
 CHECKED BY: RP
 DATE: 07/07/21

GRAPHIC SCALE: 1" = 100'
 NORTH

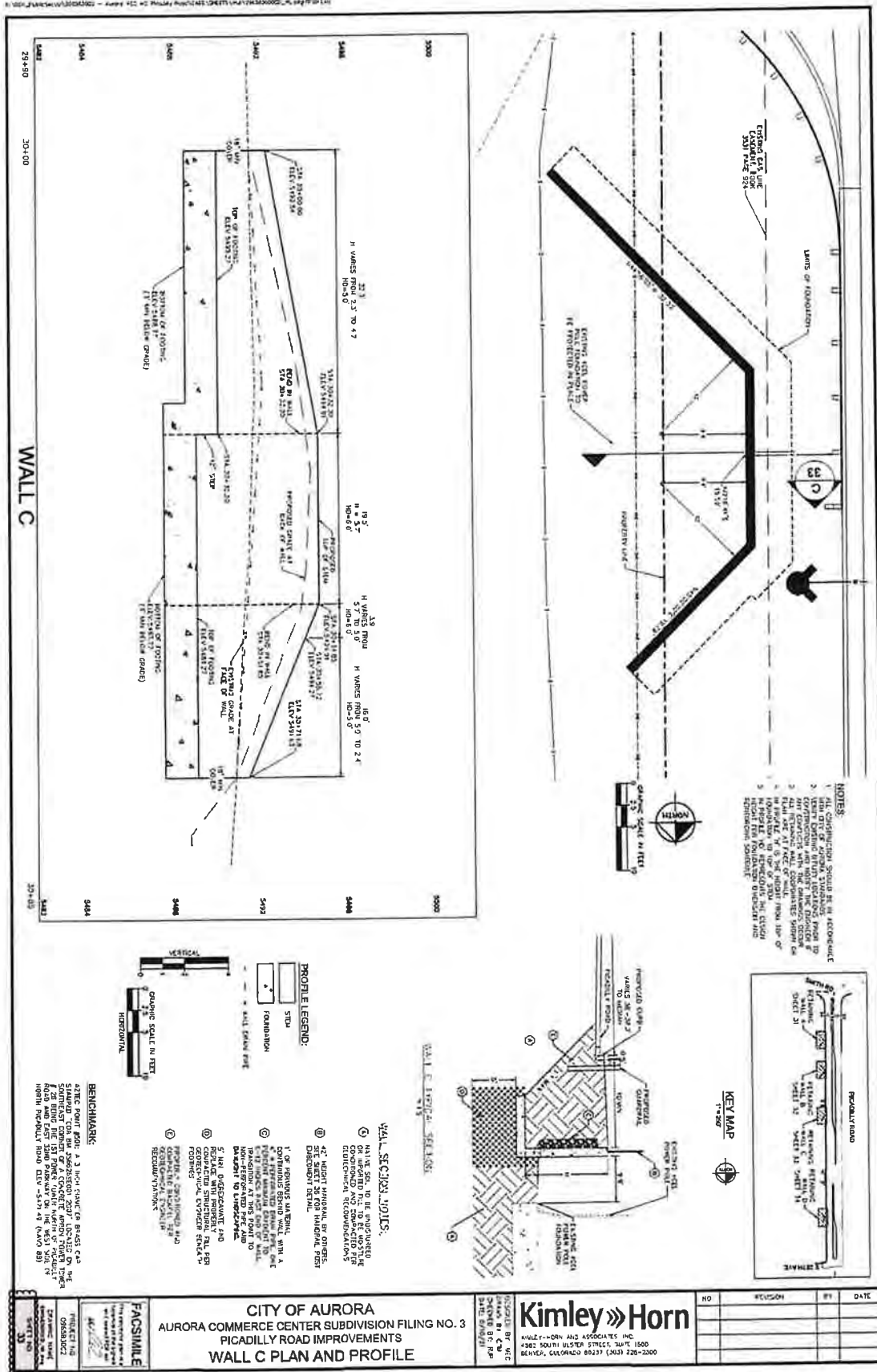


APPROVED ON 07/12/2021

EXHIBIT A - DEFERRED ROADWAY IMPROVEMENTS

SHEET 25 OF 48

FACSIMILE PROJECT NO. 2019-001 SHEET NO. 31	CITY OF AURORA AURORA COMMERCE CENTER SUBDIVISION FILING NO. 3 PICADILLY ROAD IMPROVEMENTS WALL A PLAN AND PROFILE	DESIGNED BY: JH CHECKED BY: JH DATE: 6/29/21	Kimley Horn KIMLEY HORN AND ASSOCIATES, INC. 4842 SOUTH WALTON BLVD., SUITE 100 DENVER, COLORADO 80231 (303) 733-1100
		REVISION NO.	DATE

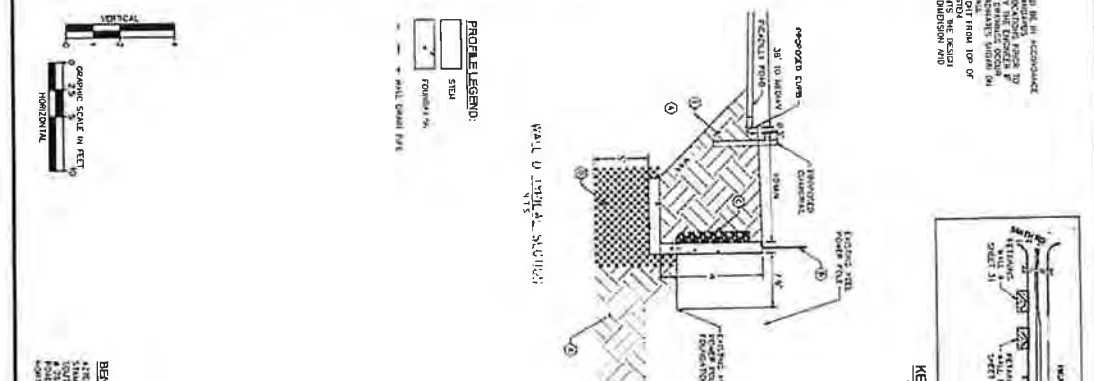
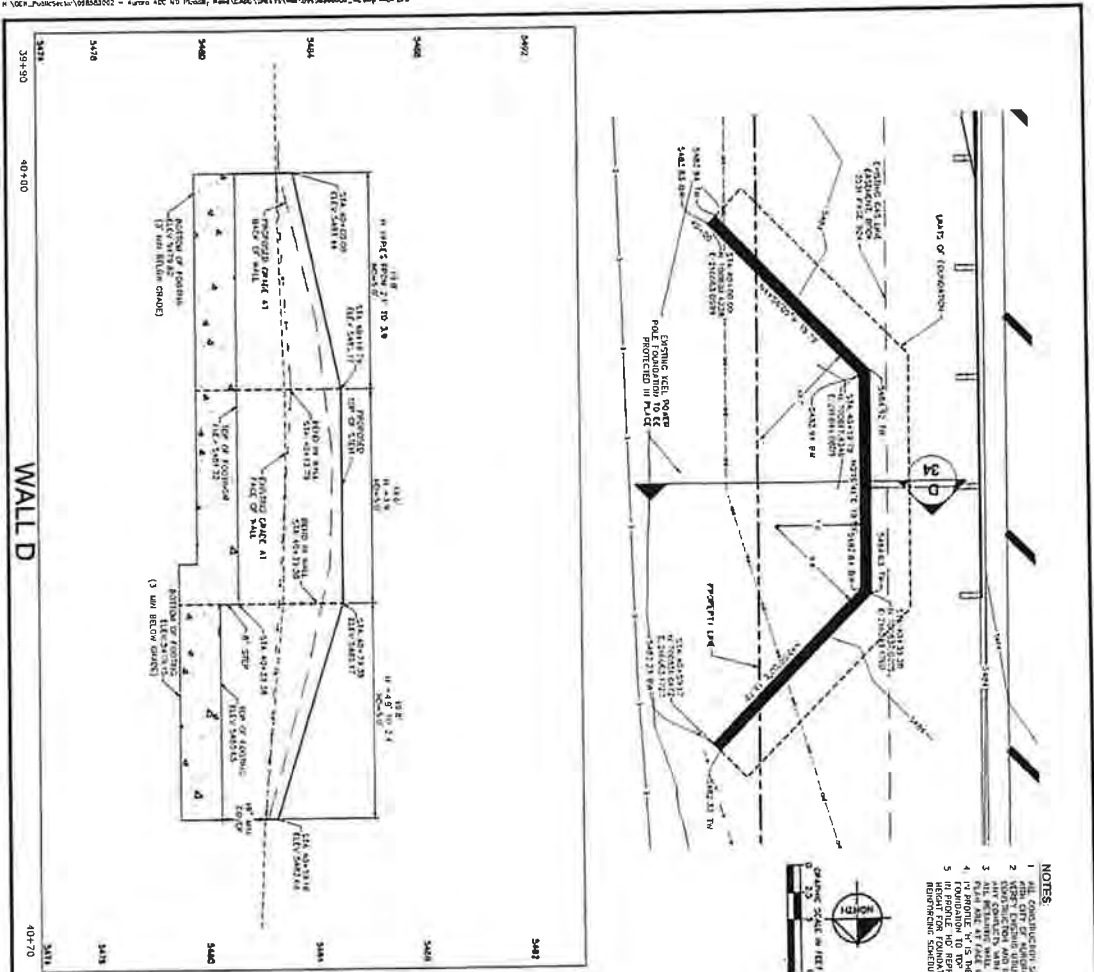


APPROVED ON 07/12/2021

EXHIBIT A - DEFERRED ROADWAY IMPROVEMENTS

SHEET 27 OF 48

<p>CITY OF AURORA AURORA COMMERCE CENTER SUBDIVISION FILING NO. 3 PICADILLY ROAD IMPROVEMENTS WALL C PLAN AND PROFILE</p>		<p>Kimley»Horn KIMLEY-HORN AND ASSOCIATES, INC. 1000 JEFFERSON AVENUE, SUITE 500 DENVER, COLORADO 80202 (303) 733-2300</p>
<p>DESIGNED BY: JWC CHECKED BY: RPB DATE: 05/20/21</p>	<p>NO. _____</p> <p>REVISION _____</p> <p>DATE _____</p>	<p>DATE _____</p>



NOTES:

1. THE CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF AURORA SPECIFICATIONS.
2. VERIFY EXISTING UTILITIES BEFORE BEGINNING CONSTRUCTION.
3. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF AURORA SPECIFICATIONS.
4. THE PROFILE VIEW IS FOR INFORMATION ONLY AND DOES NOT REPRESENT THE EXACT ELEVATION OF THE WALL.
5. IN PROFILE VIEW, THE PROPOSED ROAD TOP OF FINISH IS SHOWN FOR INFORMATION ONLY.

PROFILE LEGEND:

- STUD
- ROUNDER
- WALL (DASH LINE)

WALL SECTION NOTES:

1. WALL SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE CITY OF AURORA SPECIFICATIONS.
2. WALL SHALL BE CONSTRUCTED WITH A MINIMUM OF 12" REINFORCING BARS.
3. WALL SHALL BE CONSTRUCTED WITH A MINIMUM OF 12" REINFORCING BARS.
4. WALL SHALL BE CONSTRUCTED WITH A MINIMUM OF 12" REINFORCING BARS.
5. WALL SHALL BE CONSTRUCTED WITH A MINIMUM OF 12" REINFORCING BARS.

BENCHMARK:

4.1816 ELEVATION FROM A.B.P. CORNER TO THE CENTERLINE OF THE WALL AT STATION 34+70.00.

CITY OF AURORA
AURORA COMMERCE CENTER SUBDIVISION FILING NO. 3
PICADILLY ROAD IMPROVEMENTS
WALL D PLAN AND PROFILE

Kimley»Horn
 1500 SOUTH WASHINGTON AVENUE, SUITE 1000
 DENVER, COLORADO 80202 (303) 728-2300

REVISION

NO.	REVISION	BY	DATE

FACSIMILE
 PROJECT NO. 03030802
 DRAWING NO. 2871-01
 SHEET NO. 34

APPROVED ON 07/12/2021

EXHIBIT A - DEFERRED ROADWAY IMPROVEMENTS

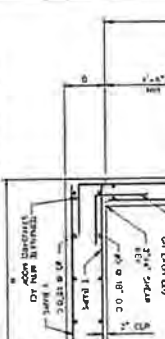
SHEET 28 OF 48

RETAINING WALL DIMENSIONS AND REINFORCING

ELEVATION (ft)	DIMENSIONS	REINFORCING			
		NO. CHAINS	NO. CHAINS	NO. CHAINS	NO. CHAINS
15'-6"	10'-1"	12"	5"	5"	12"
9'-0"	10'-1"	12"	5"	5"	12"
5'-0" B	9'-0"	12"	5"	5"	12"
W-6"	8'-3"	12"	5"	5"	12"
W-6"	6'-6"	12"	5"	5"	12"
5'-0"	3'-5"	12"	5"	5"	12"

AP SPUR AND HOOR LENGTH TABLE

BAR SIZE	BAR LENGTH	BAR HOOK
#5	3'-0"	1'-0"
#4	1'-8"	1'-0"



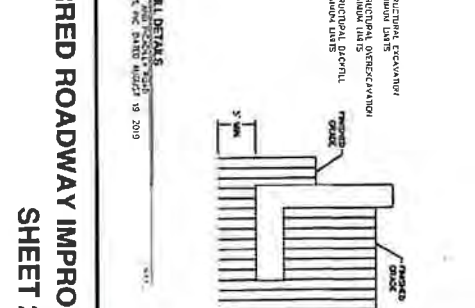
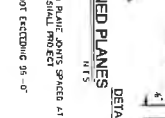
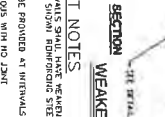
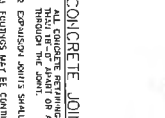
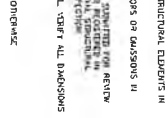
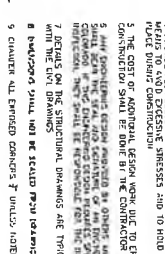
- GENERAL STRUCTURAL NOTES:**
- CAST-IN-PLACE CONCRETE SHALL MEET SPECIFICATION FOR GOOD CLASS B CONCRETE 4,500 PSI
 - REINFORCING STEEL SHALL BE ASTM A615 GRADE 60 ALL REINFORCING STEEL SHALL BE UNCOATED UNLESS OTHERWISE NOTED
 - ALL SPURBARS, CHAINS, DETACHING, FABRICATING AND PLACING OF REINFORCING BARS SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE REINFORCING CODE RECOMMENDED BY THE STRUCTURAL ENGINEER, AND THE DETAILING MANUAL AND CONCRETE REINFORCING MANUALS (ACI 308.3R-03) AND (ACI 318M-05) RESPECTIVELY.
 - ALL TIE-RODS FOR REINFORCING STEEL SHALL BE CUT-IN-QUART OF BARS. ALL TIE-RODS MUST BE PROVIDED FOR REINFORCING STEEL SHALL BE TO DETAIL OR UNLESS OTHERWISE NOTED.
 - ALL REINFORCING STEEL SHALL HAVE 2 MOI COILS. COILS MUST BE UNCOATED AND GALVANNEAL.
 - STRUCTURAL WALL DESIGN PARAMETERS RECOMMENDED BY URBAN ENGINEERING AND ENVIRONMENTAL SERVICES, INC. ON AUGUST 19 2010
 - VEGETATION SHALL BE MAINTAINED TO A MAXIMUM OF 15' P.E.T. HEIGHT. ALL OTHERS SHALL BE MAINTAINED TO A MAXIMUM OF 8' P.E.T. HEIGHT. ALL OTHERS SHALL BE MAINTAINED TO A MAXIMUM OF 8' P.E.T. HEIGHT.
 - ALL DETAILING & REINFORCING SHALL BE PROVIDED AND SHALL BE PROVIDED IN CONFORMANCE WITH THE PROJECT SPECIFICATIONS AND GENERAL NOTES.
 - ALL DETAILING & REINFORCING SHALL BE PROVIDED AND SHALL BE PROVIDED IN CONFORMANCE WITH THE PROJECT SPECIFICATIONS AND GENERAL NOTES.
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 - ALL DETAILING & REINFORCING SHALL BE PROVIDED AND SHALL BE PROVIDED IN CONFORMANCE WITH THE PROJECT SPECIFICATIONS AND GENERAL NOTES.

- WALL DRAIN NOTES:**
- WALL DRAIN SHALL BE PROVIDED AT ALL EXPANSION JOINTS AND WEAKENED PLANES.
 - WALL DRAIN SHALL BE PROVIDED AT ALL EXPANSION JOINTS AND WEAKENED PLANES.
 - WALL DRAIN SHALL BE PROVIDED AT ALL EXPANSION JOINTS AND WEAKENED PLANES.
 - WALL DRAIN SHALL BE PROVIDED AT ALL EXPANSION JOINTS AND WEAKENED PLANES.

- SUPPLEMENTARY NOTES:**
- REINFORCING SHALL BE PROVIDED AT ALL EXPANSION JOINTS AND WEAKENED PLANES.
 - REINFORCING SHALL BE PROVIDED AT ALL EXPANSION JOINTS AND WEAKENED PLANES.
 - REINFORCING SHALL BE PROVIDED AT ALL EXPANSION JOINTS AND WEAKENED PLANES.
 - REINFORCING SHALL BE PROVIDED AT ALL EXPANSION JOINTS AND WEAKENED PLANES.

- CONCRETE JOINT NOTES:**
- ALL CONCRETE JOINTS SHALL BE PROVIDED AT ALL EXPANSION JOINTS AND WEAKENED PLANES.
 - ALL CONCRETE JOINTS SHALL BE PROVIDED AT ALL EXPANSION JOINTS AND WEAKENED PLANES.
 - ALL CONCRETE JOINTS SHALL BE PROVIDED AT ALL EXPANSION JOINTS AND WEAKENED PLANES.
 - ALL CONCRETE JOINTS SHALL BE PROVIDED AT ALL EXPANSION JOINTS AND WEAKENED PLANES.

- CODE REFERENCED:**
- ACI 308.3R-03 - CONCRETE REINFORCING MANUALS
 - ACI 318M-05 - BUILDING CODE REQUIREMENTS FOR STRUCTURAL CONCRETE
 - ACI 318M-05 - BUILDING CODE REQUIREMENTS FOR STRUCTURAL CONCRETE
 - ACI 318M-05 - BUILDING CODE REQUIREMENTS FOR STRUCTURAL CONCRETE

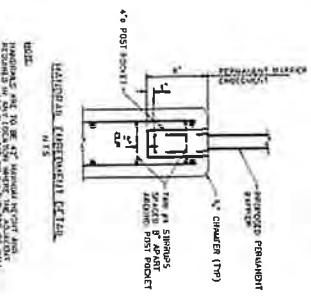
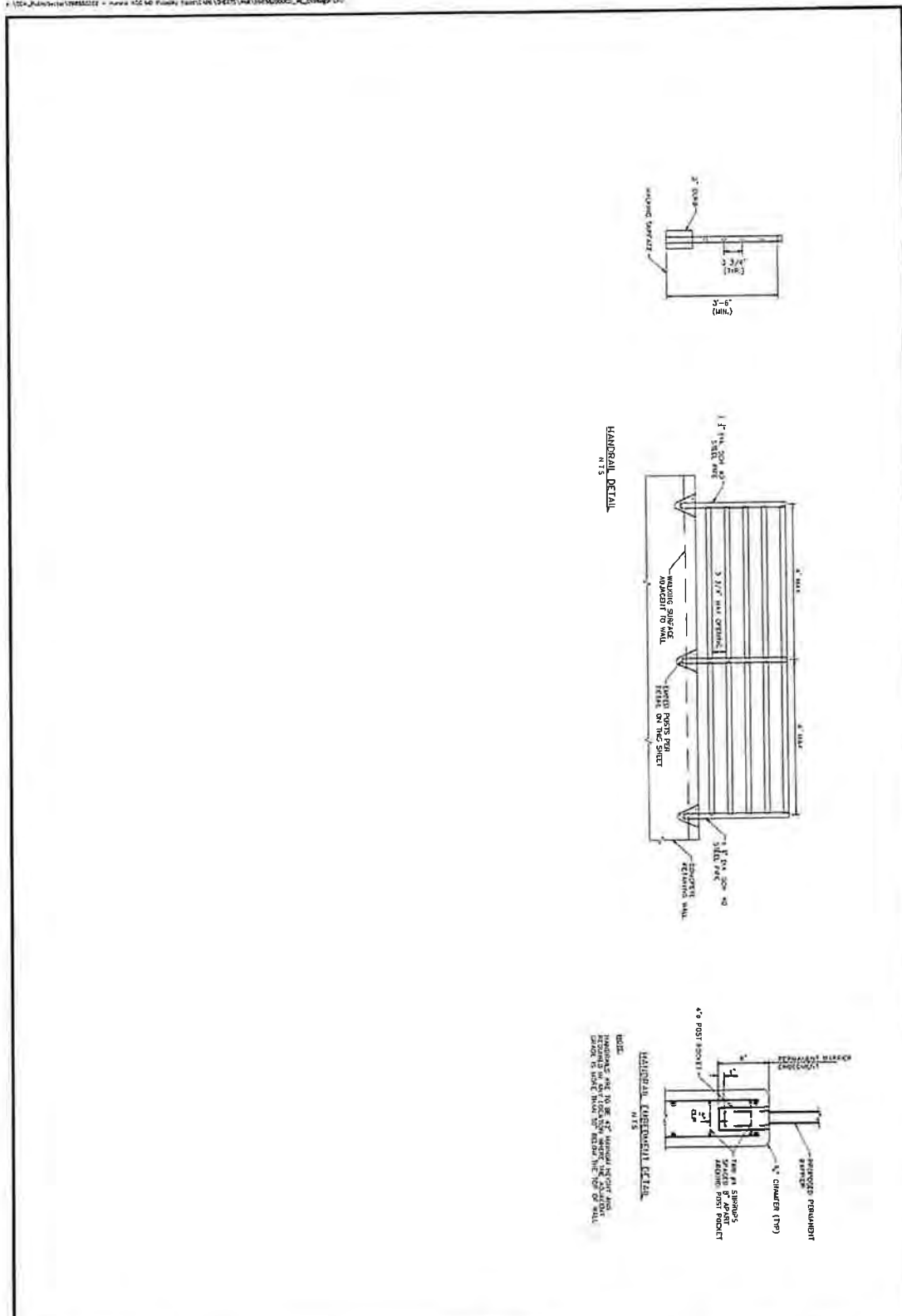


CITY OF AURORA
AURORA COMMERCE CENTER SUBDIVISION FILING NO. 3
PICADILLY ROAD IMPROVEMENTS
WALL DETAILS

Kimley Horn
 1500 W. 150th Street, Suite 200
 Golden, CO 80401
 303.440.1222

NO.	REVISION	DATE

APPROVED ON 07/12/2021

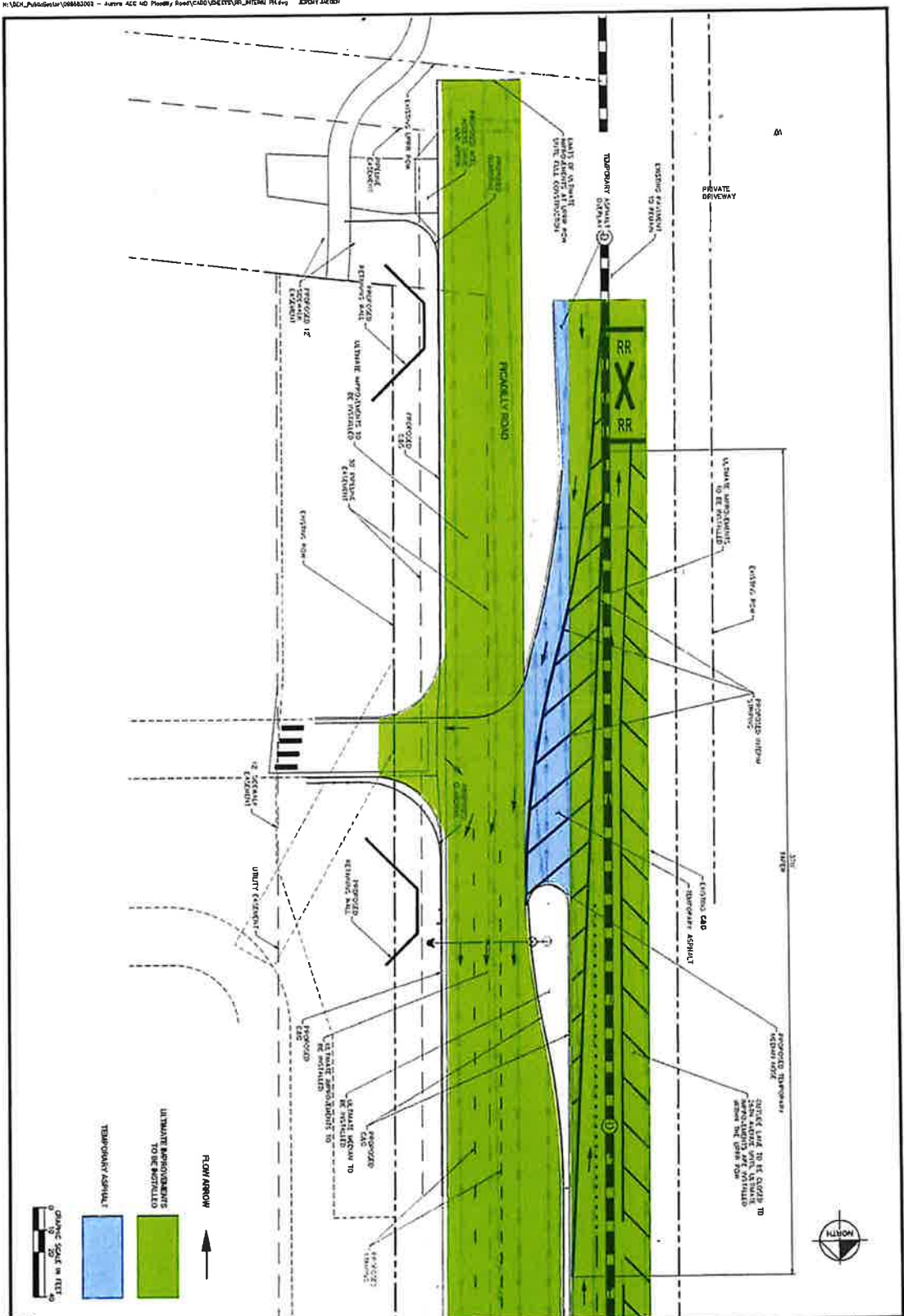


NOTE:
 DIMENSIONS ARE TO THE CENTER OF MEMBER UNLESS NOTED OTHERWISE.
 ALL DIMENSIONS ARE TO BE VERIFIED IN THE FIELD.
 MAKE SURE THAT THE WALL IS BUILT TO THE CORRECT HEIGHT AND
 LOCATION.

APPROVED ON 07/12/2021

EXHIBIT A - DEFERRED ROADWAY IMPROVEMENTS
 SHEET 30 OF 48

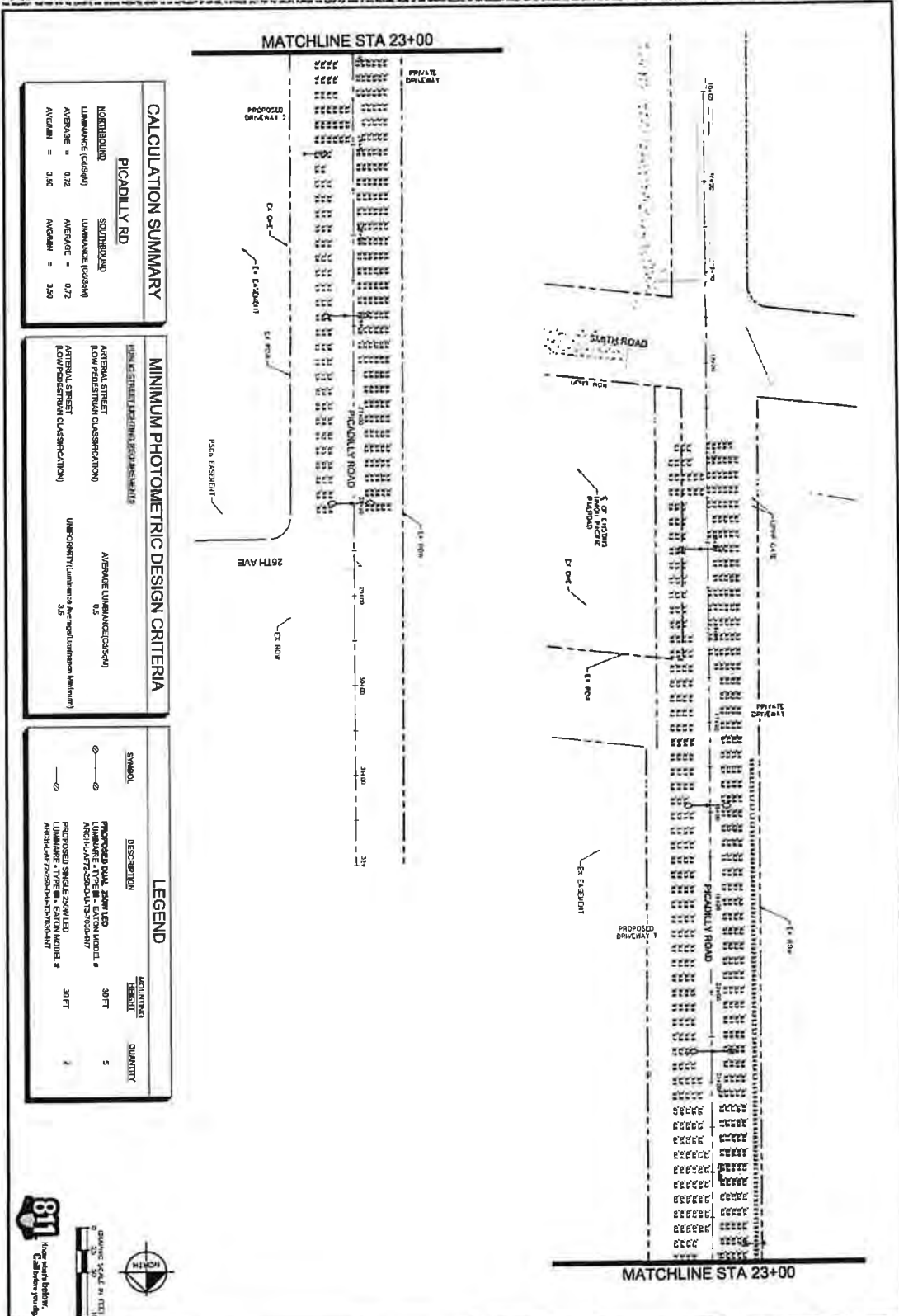
FACSIMILE The information on this sheet is for informational purposes only and is not intended to be used for construction.	CITY OF AURORA AURORA COMMERCE CENTER SUBDIVISION FILING NO. 3 PICADILLY ROAD IMPROVEMENTS WALL DETAILS	Kimley»Horn KIMLEY-HORN AND ASSOCIATES, INC. 4501 SOUTH WALKER STREET, SUITE 100 DENVER, COLORADO 80227 (303) 230-2300	DATE	
	DESIGNER: JAC CHECKED BY: JAC DATE: 6/10/21		NO.	REVISIONS



APPROVED ON 07/12/2021

**EXHIBIT A - DEFERRED ROADWAY IMPROVEMENTS
SHEET 31 OF 48**

<p>REVISIONS</p> <table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <th>NO.</th> <th>REVISION</th> <th>BY</th> <th>DATE</th> </tr> <tr> <td> </td> <td> </td> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> <td> </td> <td> </td> </tr> </table>	NO.	REVISION	BY	DATE									<p style="text-align: center;">CITY OF AURORA AURORA COMMERCE CENTER SUBDIVISION FILING NO. 3 PICADILLY ROAD IMPROVEMENTS INTERIM RR PHASING ROADWAY LAYOUT</p> <p style="text-align: right;">Kimley»Horn <small>KIMLEY-HORN AND ASSOCIATES, INC. 4401 SOUTH GLENN STREET, SUITE 400 DENVER, COLORADO 80227 (303) 328-2300</small></p>	<p>PROJECT INFORMATION</p> <p>PROJECT NO. 221219 SHEET NO. 31 OF 48 DATE: 6/10/21</p>
NO.	REVISION	BY	DATE											



CALCULATION SUMMARY

PICADILLY RD		SOUTH ROAD	
NORIBOUND LUMINANCE (cd/m²)	0.72	LUMINANCE (cd/m²)	0.72
AVERAGE = 0.72		AVERAGE = 0.72	
AVG W/M = 3.00		AVG W/M = 3.00	

MINIMUM PHOTOMETRIC DESIGN CRITERIA

STREET TYPE / CLASSIFICATION	AVERAGE LUMINANCE (cd/m²)
ARTERIAL STREET (LOW PEDESTRIAN CLASSIFICATION)	0.5
ARTERIAL STREET (HIGH PEDESTRIAN CLASSIFICATION)	0.5
UNIFORMITY (Luminance Average/Luminance Minimum)	1.5

LEGEND

SYMBOL	DESCRIPTION	ROUTING HEIGHT	QUANTITY
○	PROPOSED DUAL ROW LED LUMINAIRE TYPE B - EXTON MODEL # AN10047 (25000/17500/17500)	30 FT	5
○	PROPOSED SINGLE ROW LED LUMINAIRE TYPE B - EXTON MODEL # AN10047 (25000/17500/17500)	30 FT	1

APPROVED ON 07/12/2021

EXHIBIT A - DEFERRED ROADWAY IMPROVEMENTS
SHEET 33 OF 48

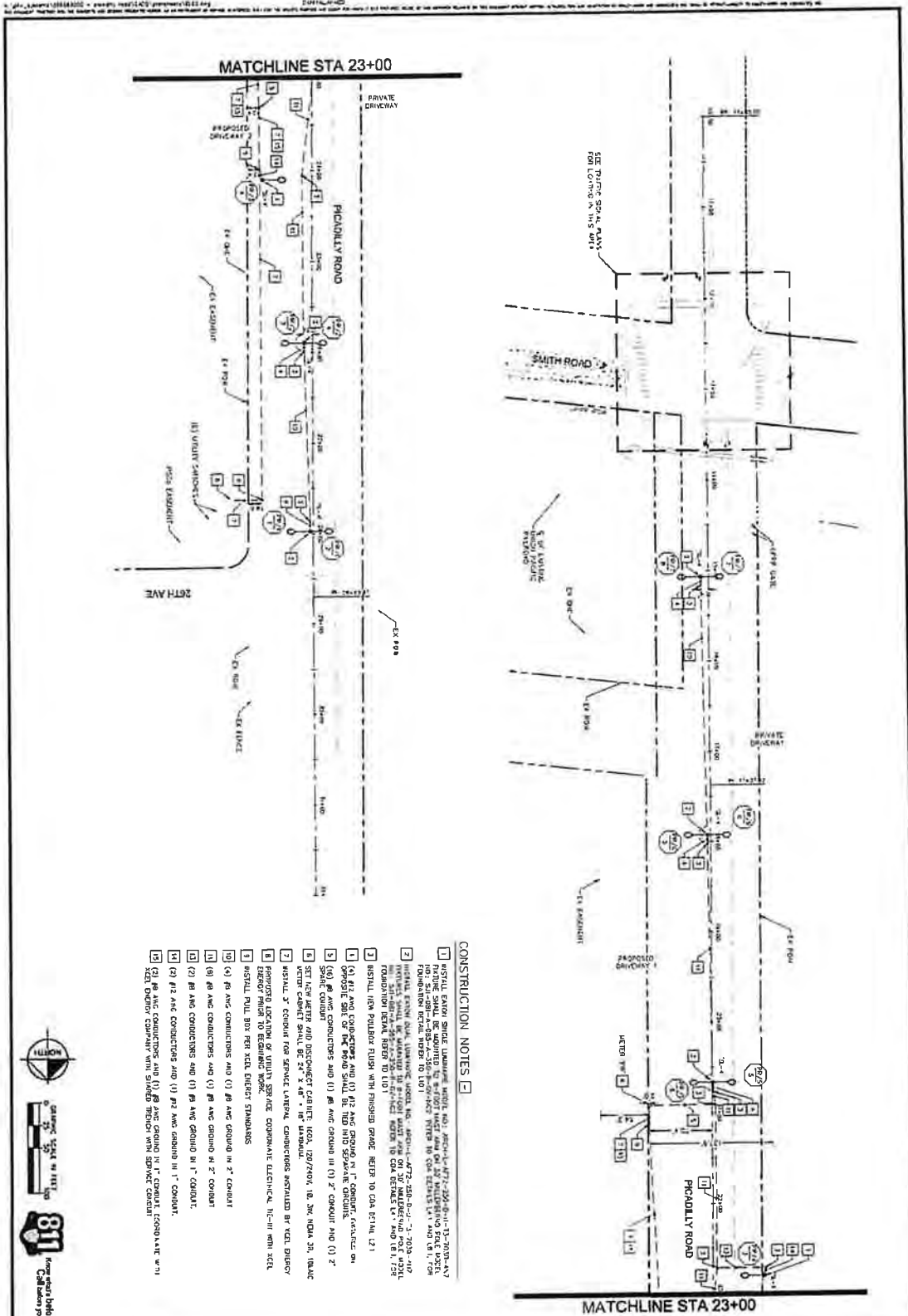


PROJECT NO. 22-0000000
SHEET NO. 39

CITY OF AURORA
AURORA COMMERCE CENTER SUBDIVISION FILING NO. 3
PICADILLY ROAD IMPROVEMENTS
PHOTOMETRICS PLAN

Kimley»Horn
KIMLEY-HORN AND ASSOCIATES, INC.
4540 SOUTH HURON STREET, SUITE 500
DENVER, COLORADO 80237 (303) 726-2500

NO.	REVISION	BY	DATE

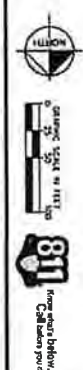


CONSTRUCTION NOTES

1. INSTALL EXISTING SERVICE LATERAL AND MAINS TO ALL EXISTING AND NEW BUILDINGS. ALL SERVICE LATERALS SHALL BE INSTALLED IN 2" CONDUIT. ALL MAINS SHALL BE INSTALLED IN 2" CONDUIT. ALL SERVICE LATERALS SHALL BE INSTALLED IN 2" CONDUIT. ALL MAINS SHALL BE INSTALLED IN 2" CONDUIT.
2. ALL NEW SERVICE LATERALS SHALL BE INSTALLED IN 2" CONDUIT. ALL NEW MAINS SHALL BE INSTALLED IN 2" CONDUIT.
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8. ALL NEW SERVICE LATERALS SHALL BE INSTALLED IN 2" CONDUIT. ALL NEW MAINS SHALL BE INSTALLED IN 2" CONDUIT.
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10. ALL NEW SERVICE LATERALS SHALL BE INSTALLED IN 2" CONDUIT. ALL NEW MAINS SHALL BE INSTALLED IN 2" CONDUIT.
11. ALL NEW SERVICE LATERALS SHALL BE INSTALLED IN 2" CONDUIT. ALL NEW MAINS SHALL BE INSTALLED IN 2" CONDUIT.
12. ALL NEW SERVICE LATERALS SHALL BE INSTALLED IN 2" CONDUIT. ALL NEW MAINS SHALL BE INSTALLED IN 2" CONDUIT.
13. ALL NEW SERVICE LATERALS SHALL BE INSTALLED IN 2" CONDUIT. ALL NEW MAINS SHALL BE INSTALLED IN 2" CONDUIT.
14. ALL NEW SERVICE LATERALS SHALL BE INSTALLED IN 2" CONDUIT. ALL NEW MAINS SHALL BE INSTALLED IN 2" CONDUIT.
15. ALL NEW SERVICE LATERALS SHALL BE INSTALLED IN 2" CONDUIT. ALL NEW MAINS SHALL BE INSTALLED IN 2" CONDUIT.
16. ALL NEW SERVICE LATERALS SHALL BE INSTALLED IN 2" CONDUIT. ALL NEW MAINS SHALL BE INSTALLED IN 2" CONDUIT.
17. ALL NEW SERVICE LATERALS SHALL BE INSTALLED IN 2" CONDUIT. ALL NEW MAINS SHALL BE INSTALLED IN 2" CONDUIT.
18. ALL NEW SERVICE LATERALS SHALL BE INSTALLED IN 2" CONDUIT. ALL NEW MAINS SHALL BE INSTALLED IN 2" CONDUIT.
19. ALL NEW SERVICE LATERALS SHALL BE INSTALLED IN 2" CONDUIT. ALL NEW MAINS SHALL BE INSTALLED IN 2" CONDUIT.
20. ALL NEW SERVICE LATERALS SHALL BE INSTALLED IN 2" CONDUIT. ALL NEW MAINS SHALL BE INSTALLED IN 2" CONDUIT.

APPROVED ON 07/12/2021

EXHIBIT A - DEFERRED ROADWAY IMPROVEMENTS
SHEET 34 OF 48



811 Call Before You Dig
Colorado
Call 811 or visit www.call811.com

Facsimile
This document is a facsimile of the original drawing. It is not to be used for construction purposes.

CITY OF AURORA
AURORA COMMERCE CENTER SUBDIVISION FILING NO. 3
PICADILLY ROAD IMPROVEMENTS
ELECTRICAL PLAN

Kimley Horn
KIMLEY-HORN AND ASSOCIATES, INC.
1500 14TH AVENUE, SUITE 100
DENVER, COLORADO 80202 (303) 733-2300

NO.	REVISION	BY	DATE

PANEL #18
PICADILLY ROAD

Panel Schedule

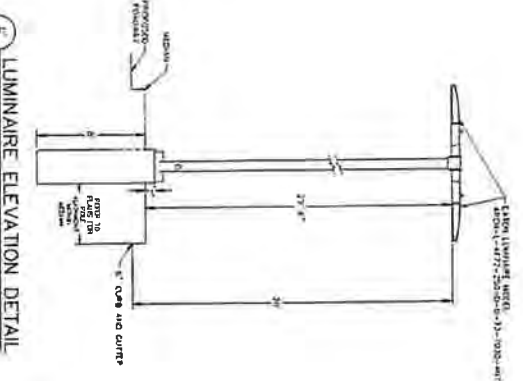
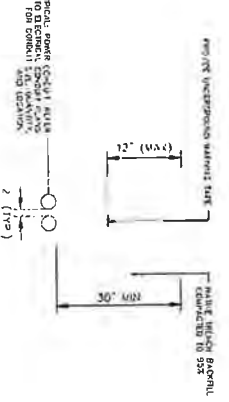
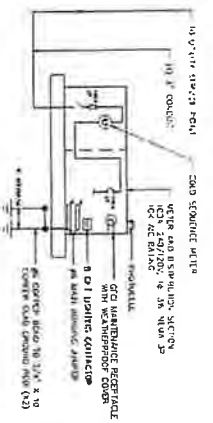
NO.	DESCRIPTION	AMPS	VOLTS	TYPE	REMARKS
1	30 AMP 240V 1P	30	240	1P	
2	20 AMP 240V 1P	20	240	1P	
3	15 AMP 240V 1P	15	240	1P	
4	10 AMP 240V 1P	10	240	1P	
5	5 AMP 240V 1P	5	240	1P	
6	30 AMP 240V 3P	30	240	3P	
7	20 AMP 240V 3P	20	240	3P	
8	15 AMP 240V 3P	15	240	3P	
9	10 AMP 240V 3P	10	240	3P	
10	5 AMP 240V 3P	5	240	3P	

A PICADILLY ROAD PANEL SCHEDULE
NOT TO SCALE

TABLE A - N VOLT STANDARD FOR ELECTRIC INSTALLATION AND USE

Panel	Branch	Source	Type	Current (amps)	Voltage (volts)	Wattage (watts)	Notes
1	1	120/240	1P	30	120	3600	
2	2	120/240	1P	20	120	2400	
3	3	120/240	1P	15	120	1800	
4	4	120/240	1P	10	120	1200	
5	5	120/240	1P	5	120	600	
6	6	120/240	3P	30	240	7200	
7	7	120/240	3P	20	240	4800	
8	8	120/240	3P	15	240	3600	
9	9	120/240	3P	10	240	2400	
10	10	120/240	3P	5	240	1200	

B VOLTAGE DROP & FAULT CURRENT
NOT TO SCALE



APPROVED ON 07/12/2021

EXHIBIT A - DEFERRED ROADWAY IMPROVEMENTS
SHEET 35 OF 48

Kimley Horn
 KIMLEY-HORN AND ASSOCIATES, INC.
 300 SOUTH STREET SUITE 300
 DENVER, COLORADO 80202 (303) 733-1200

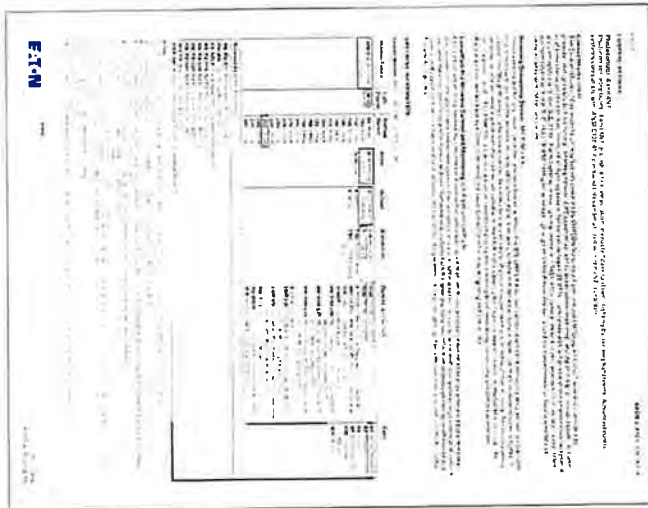
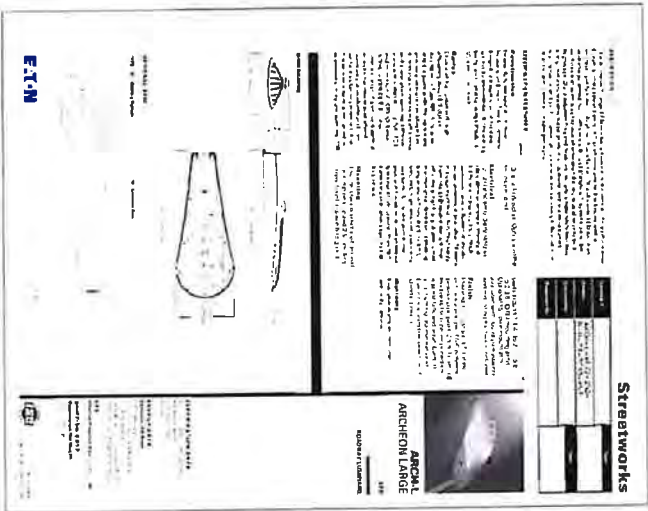
CITY OF AURORA
 AURORA COMMERCE CENTER SUBDIVISION FILING NO. 3
 PICADILLY ROAD IMPROVEMENTS
 ELECTRICAL DETAILS

DESIGNED BY: DR
 CHECKED BY: O/P/S
 DATE: 6/27/21

811 Call Before You Dig
 1-800-4-A- dig

PROJECT NO.: 2019-001-01
 SHEET NO.: 41

A STREET LIGHTING FIXTURE DETAIL
NOT TO SCALE



APPROVED ON 07/12/2021

EXHIBIT A - DEFERRED ROADWAY IMPROVEMENTS
SHEET 36 OF 48



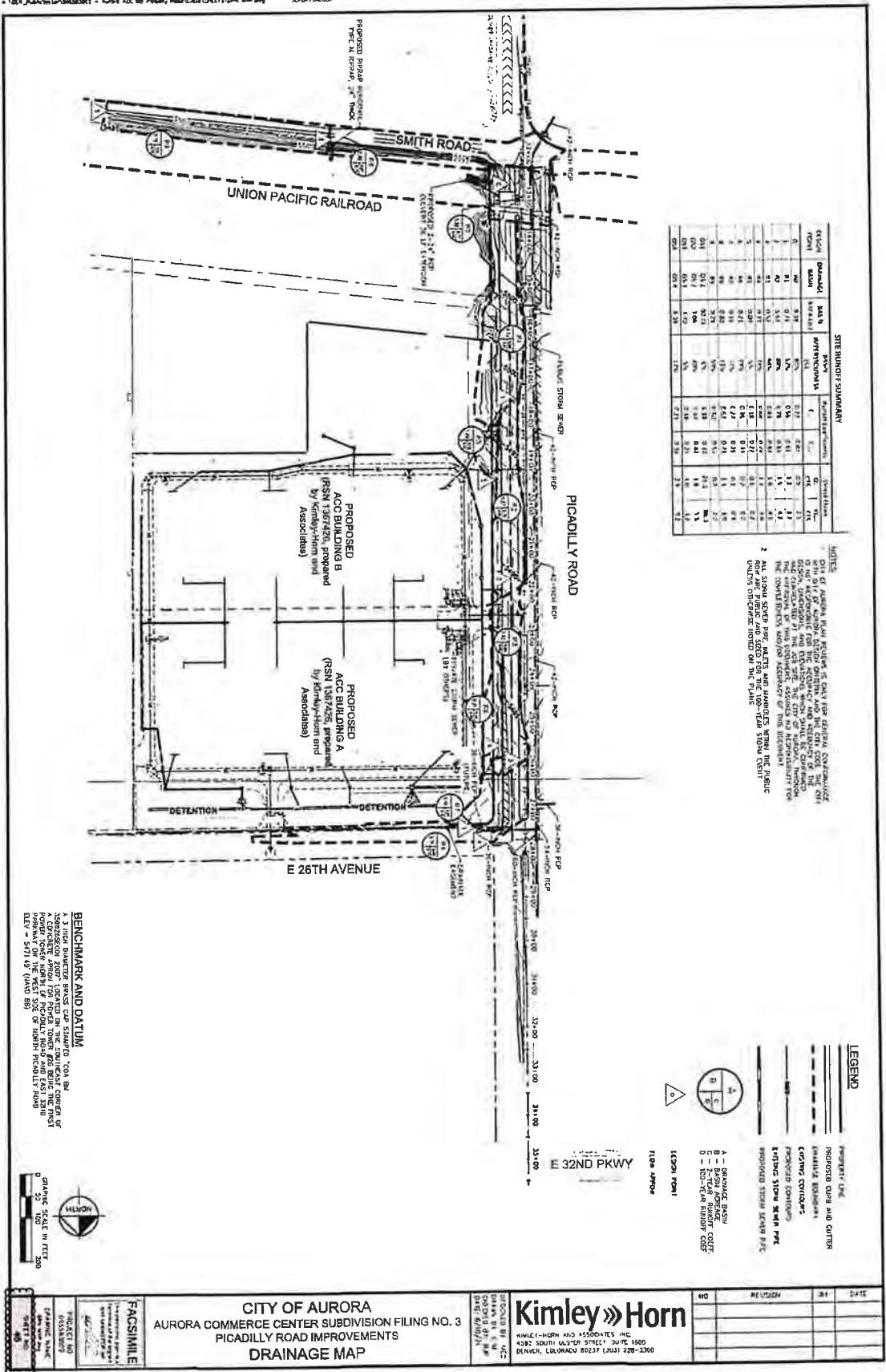
811 Home and below
Call before you dig

FACSIMILE
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CITY OF AURORA
AURORA COMMERCE CENTER SUBDIVISION FILING NO. 3
PICADILLY ROAD IMPROVEMENTS
ELECTRICAL DETAILS

Kimley»Horn
KIMLEY-HORN AND ASSOCIATES, INC.
1500 SOUTH HIGH STREET, SUITE 1500
DENVER, COLORADO 80202 (303) 733-4300

NO.	REVISION	BY	DATE



STATION SUMMARY

Station	Station	Station	Station	Station
0+00	0+50	1+00	1+50	2+00
0+50	1+00	1+50	2+00	2+50
1+00	1+50	2+00	2+50	3+00
1+50	2+00	2+50	3+00	3+50
2+00	2+50	3+00	3+50	4+00
2+50	3+00	3+50	4+00	4+50
3+00	3+50	4+00	4+50	5+00
3+50	4+00	4+50	5+00	5+50
4+00	4+50	5+00	5+50	6+00
4+50	5+00	5+50	6+00	6+50
5+00	5+50	6+00	6+50	7+00
5+50	6+00	6+50	7+00	7+50
6+00	6+50	7+00	7+50	8+00
6+50	7+00	7+50	8+00	8+50
7+00	7+50	8+00	8+50	9+00
7+50	8+00	8+50	9+00	9+50
8+00	8+50	9+00	9+50	10+00
8+50	9+00	9+50	10+00	

NOTES

1. ALL STORM SEWER PERMITS AND MANHOLES WITHIN THE PUBLIC ROW ARE PUBLIC AND SHALL BE THE RESPONSIBILITY OF THE PROPERTY OWNER.
2. ALL STORM SEWER PERMITS AND MANHOLES WITHIN THE PUBLIC ROW ARE PUBLIC AND SHALL BE THE RESPONSIBILITY OF THE PROPERTY OWNER.

LEGEND

- Proposed Catch Basins
- Proposed Storm Sewers
- Proposed Storm Sewer Pipes
- Proposed Storm Sewer Manholes
- Proposed Storm Sewer Catch Basins
- Proposed Storm Sewer Catch Basins

APPROVED ON 07/12/2021

EXHIBIT A - DEFERRED ROADWAY IMPROVEMENTS
SHEET 37 OF 48

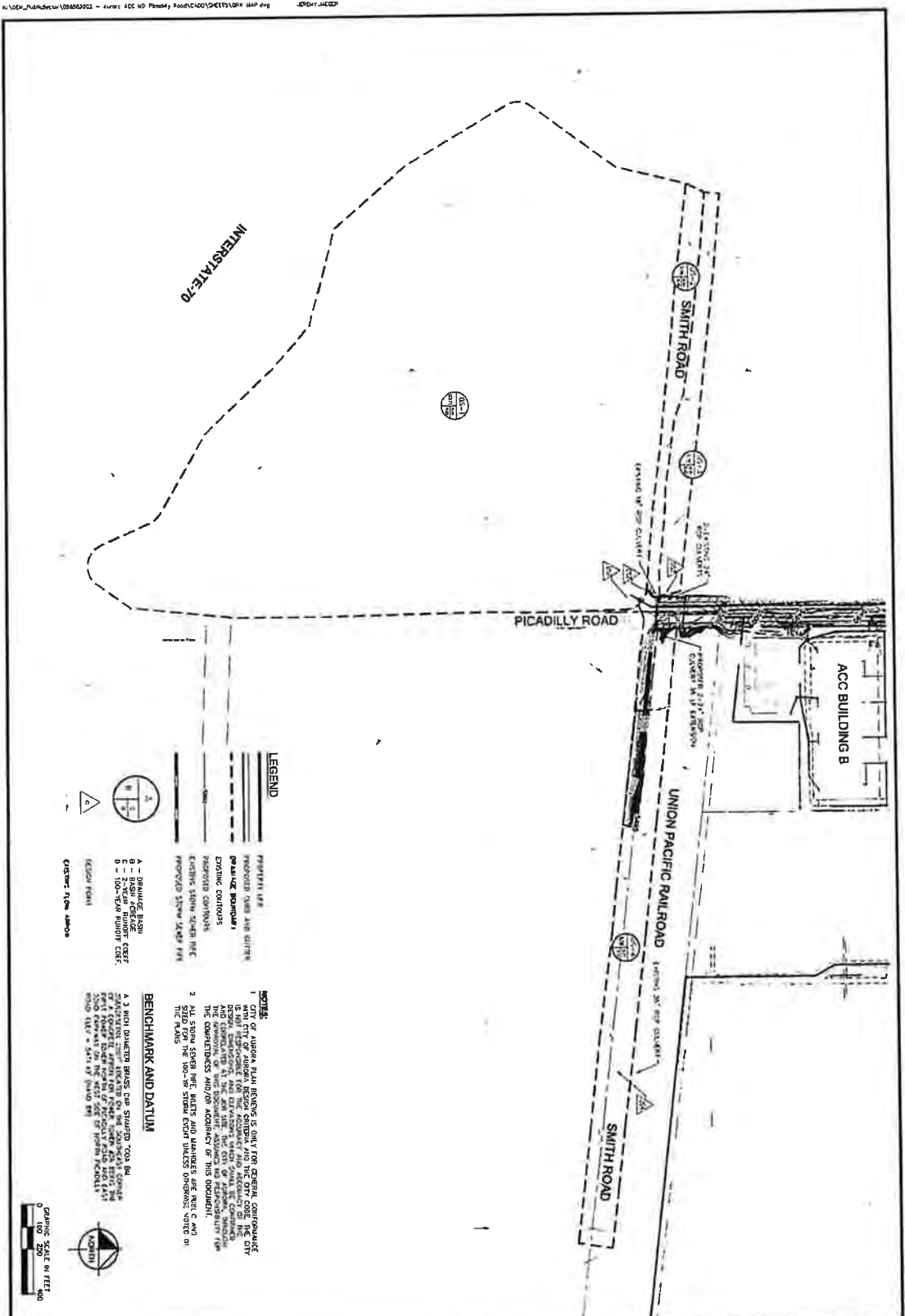
CITY OF AURORA
AURORA COMMERCE CENTER SUBDIVISION FILING NO. 3
PICADILLY ROAD IMPROVEMENTS
DRAINAGE MAP

Kimley-Horn

DATE: 6/10/21

PROJECT NO.: 221219

SHEET NO.: 37 OF 48



INTERSTATE-70

SMITH ROAD

PICADILLY ROAD

ACC BUILDING B

UNION PACIFIC RAILROAD

SMITH ROAD

LEGEND

- PROPERTY LINE
- IMPROVED CURB AND GUTTER
- PROPOSED SIDEWALK
- PROPOSED DRIVEWAY
- PROPOSED DRIVEWAY
- PROPOSED DRIVEWAY
- PROPOSED DRIVEWAY
- PROPOSED DRIVEWAY
- PROPOSED DRIVEWAY
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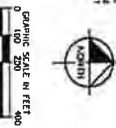
A - BRUSH JUNCTION
 B - 10'x10' CURB BASIN
 C - 10'x10' CURB BASIN

NOTES

- CITY OF AURORA PLAN NUMBER IS ONLY FOR GENERAL INFORMATION. THIS PLAN IS NOT TO BE USED FOR ANY OTHER PURPOSES. THE CITY OF AURORA IS NOT RESPONSIBLE FOR THE ACCURACY OR COMPLETENESS OF THIS DOCUMENT.
- ALL STORM SEWER PIPE, VALVES AND MANHOLES ARE PER C AND SIZED FOR THE PROPOSED EXCESS DRAINAGE VOLUME IN THE PLAN.

BENCHMARK AND DATUM

A 3 INCH DIAMETER BRASS PIN SETTING FOR THE BENCHMARK IS LOCATED AT THE CORNER OF THE INTERSECTION OF PICADEILLY ROAD AND SMITH ROAD. THE BENCHMARK IS TO BE SET BY THE SURVEYOR AND SHALL BE PROTECTED BY A CONCRETE CURB AND GUTTER.



APPROVED ON 07/12/2021

EXHIBIT A - DEFERRED ROADWAY IMPROVEMENTS SHEET 38 OF 48

NO.	REVISION	BY	DATE

FACSIMILE

PROJECT NO:
 DRAWING TITLE:
 DRAWING DATE:
 DATE REVISED:

CITY OF AURORA
 AURORA COMMERCE CENTER SUBDIVISION FILING NO. 3
 PICADEILLY ROAD IMPROVEMENTS
 DRAINAGE MAP - OFF SITE

Kimley»Horn
 KIMLEY-HORN AND ASSOCIATES, INC.
 3500 SOUTH WASHINGTON STREET, SUITE 1000
 DENVER, COLORADO 80227 (303) 726-2100

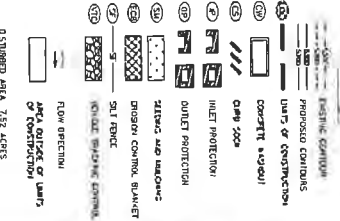
CITY OF AURORA EROSION CONTROL NOTES:

1. STABILIZATION AND PROTECTION SHALL BE INSTALLED IMMEDIATELY UPON COMPLETION OF THE EROSION CONTROL MEASURES. THE EROSION CONTROL MEASURES SHALL BE MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD AND SHALL BE RESTORED TO ORIGINAL CONDITION UPON COMPLETION OF THE PROJECT. THE EROSION CONTROL MEASURES SHALL BE MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD AND SHALL BE RESTORED TO ORIGINAL CONDITION UPON COMPLETION OF THE PROJECT.
2. THE EROSION CONTROL MEASURES SHALL BE MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD AND SHALL BE RESTORED TO ORIGINAL CONDITION UPON COMPLETION OF THE PROJECT.
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4. THE EROSION CONTROL MEASURES SHALL BE MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD AND SHALL BE RESTORED TO ORIGINAL CONDITION UPON COMPLETION OF THE PROJECT.
5. THE EROSION CONTROL MEASURES SHALL BE MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD AND SHALL BE RESTORED TO ORIGINAL CONDITION UPON COMPLETION OF THE PROJECT.

CONSTRUCTION SEQUENCE:

1. INITIAL SITE VISIT ALONG THE CONSTRUCTION LIMITS AS SHOWN ON THE PROPOSED PROTECTION INCLUDING CHISEL SOLES, AS SHOWN ON THE PLAN.
2. INSTALL DRAIN PROTECTION FOR EXISTING PROTECTION AS SHOWN ON THE PLAN.
3. PREPARE STABILIZED STRONG AREA CONSTRUCTION TO HOLD PROTECTION IN PLACE.
4. PREPARE CONCRETE EROSION CONTROL SYSTEMS AS SHOWN ON THE PLAN.
5. PREPARE FIELD INSPECTION WITH THE CITY.
6. PREPARE FIELD INSPECTION WITH THE CITY.
7. CONDUCT FIELD INSPECTION WITH THE CITY.

LEGEND



APPROVED ON 07/12/2021

EXHIBIT A - DEFERRED ROADWAY IMPROVEMENTS SHEET 39 OF 48

Kimley-Horn
 KIMLEY-HORN AND ASSOCIATES, INC.
 100 SOUTH WALTON STREET, SUITE 200
 CHICAGO, ILLINOIS 60606
 (312) 527-0800
 WWW.KIMLEY-HORN.COM

CITY OF AURORA
 AURORA COMMERCE CENTER SUBDIVISION FILING NO. 3
 PICADILLY ROAD IMPROVEMENTS
 STORM WATER MANAGEMENT NOTES

PROJECT NO. 15-00000000000000000000
 SHEET NO. 39 OF 48

\\pdr\p\m\pdr\20150501 - Aurora ACC W/ Posibly Roof\CAD\DWG\CROSS SECS.dwg

APPROVED ON 07/12/2021

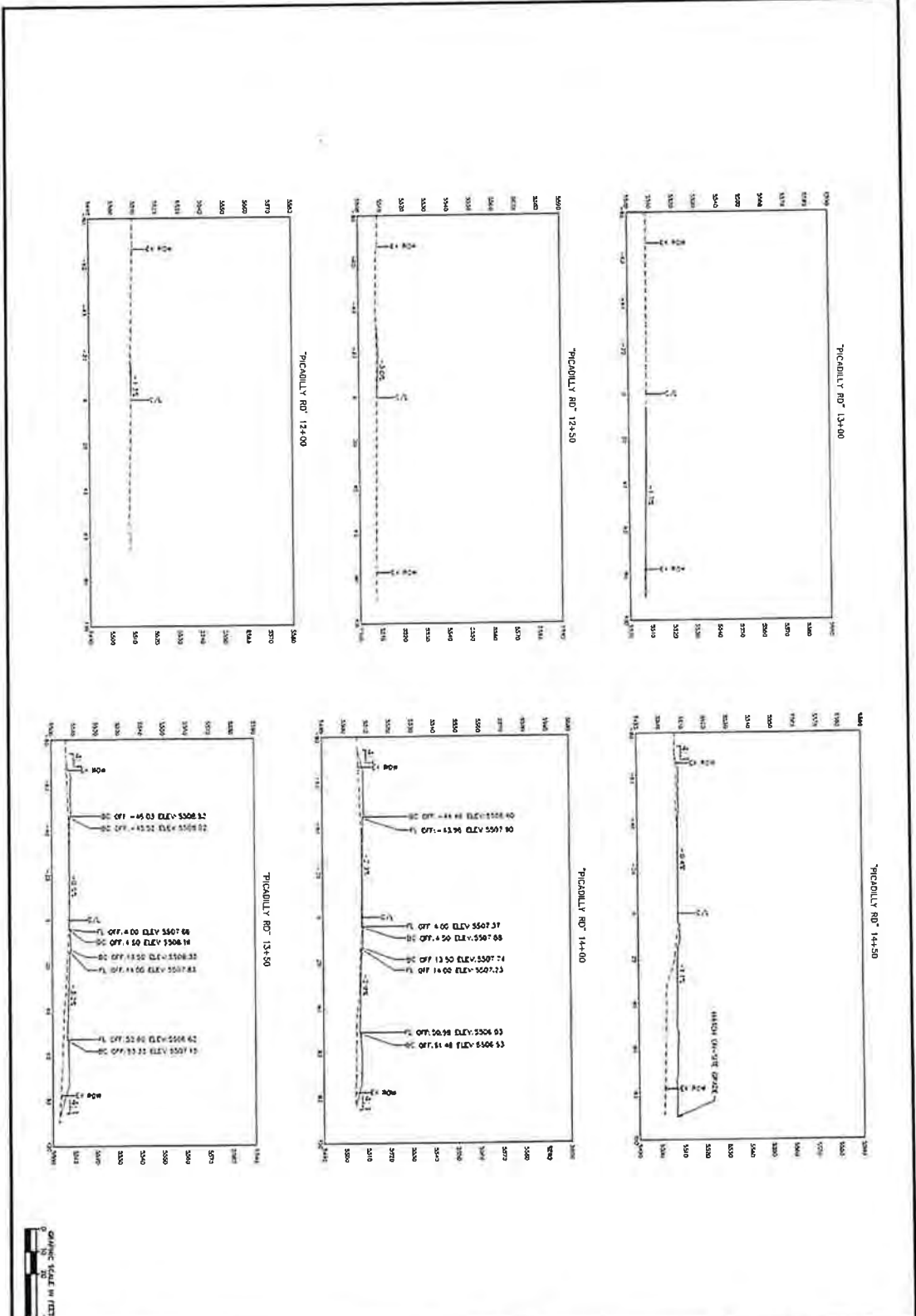


EXHIBIT A - DEFERRED ROADWAY IMPROVEMENTS

SHEET 40 OF 48

NO.	REVISION	BY	DATE

CITY OF AURORA
 AURORA COMMERCE CENTER SUBDIVISION FILING NO. 3
 PICADILLY ROAD IMPROVEMENTS
 CROSS SECTIONS

Kimley»Horn
 KIMLEY-HORN AND ASSOCIATES, INC.
 4382 SOUTH WILSON STREET, SUITE 1000
 DENVER, COLORADO 80237 (303) 328-2300

DESIGNED BY: MTC
 CHECKED BY: MTC
 DATE: 6/23/21
 DRAWN: K/07/21

PROJECT NO. 20150501
 SHEET NO. 40

H:\UPM_PlanSection\20210202 - Aurora CDC RD Roadway Improvements\221219.dwg #17P01.dwg

APPROVED ON 07/12/2021

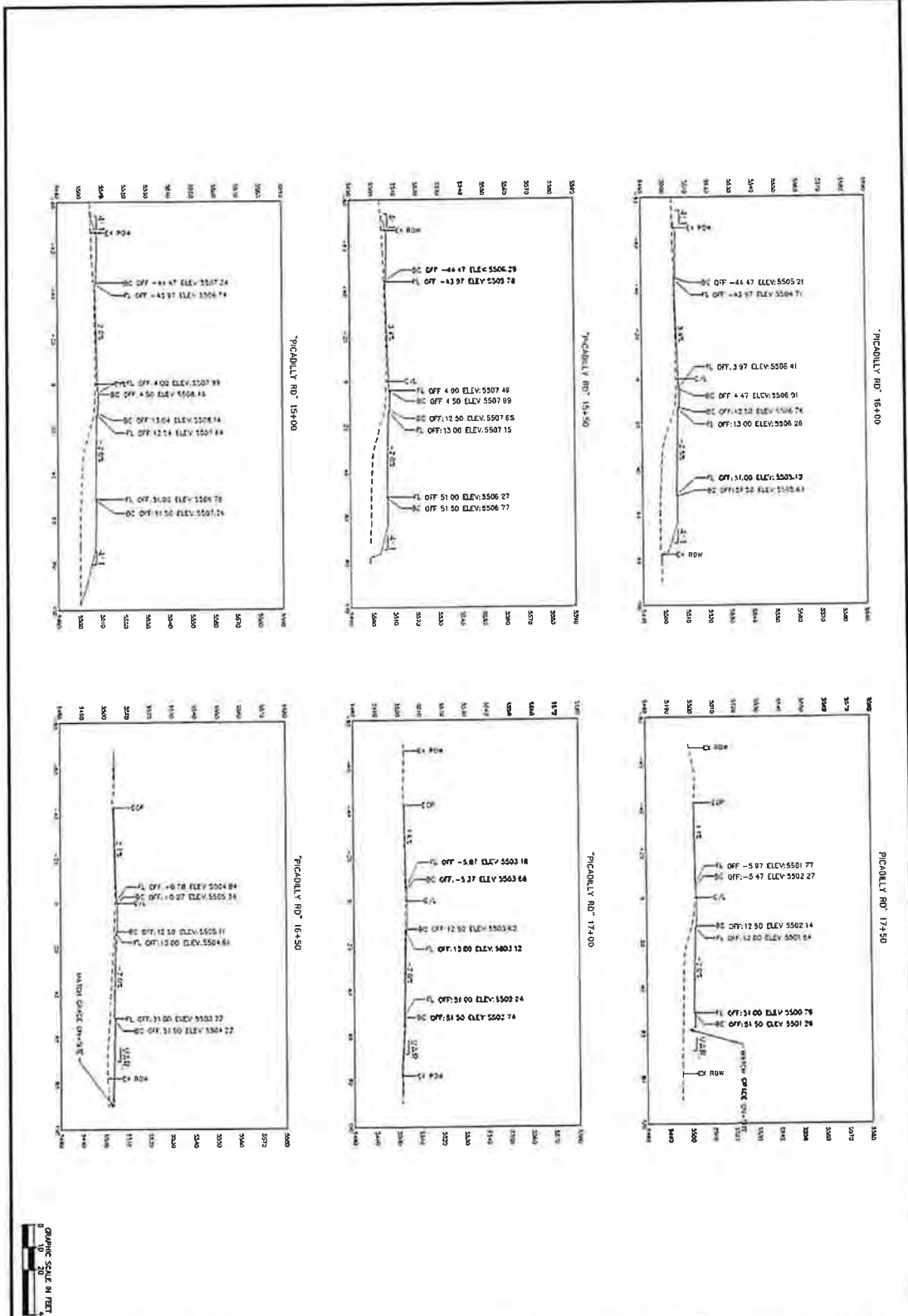


EXHIBIT A - DEFERRED ROADWAY IMPROVEMENTS SHEET 41 OF 48

GRAPHIC SCALE IN FEET
0 10 20 30 40

FACSIMILE
This drawing is a facsimile of the original drawing. It is not to be used for construction purposes. If you have any questions, please contact the engineer of record.

CITY OF AURORA
AURORA COMMERCE CENTER SUBDIVISION FILING NO. 3
PICADILLY ROAD IMPROVEMENTS
CROSS SECTIONS

Kimley»Horn
DESIGNED BY: JLC
CHECKED BY: JLC
DATE: 6/10/21
KIMLEY-HORN AND ASSOCIATES, INC.
1302 SOUTH BLISS STREET, SUITE 100
DENVER, COLORADO 80237 (303) 226-2300

NO	REVISION	BY	DATE

APPROVED ON 07/12/2021

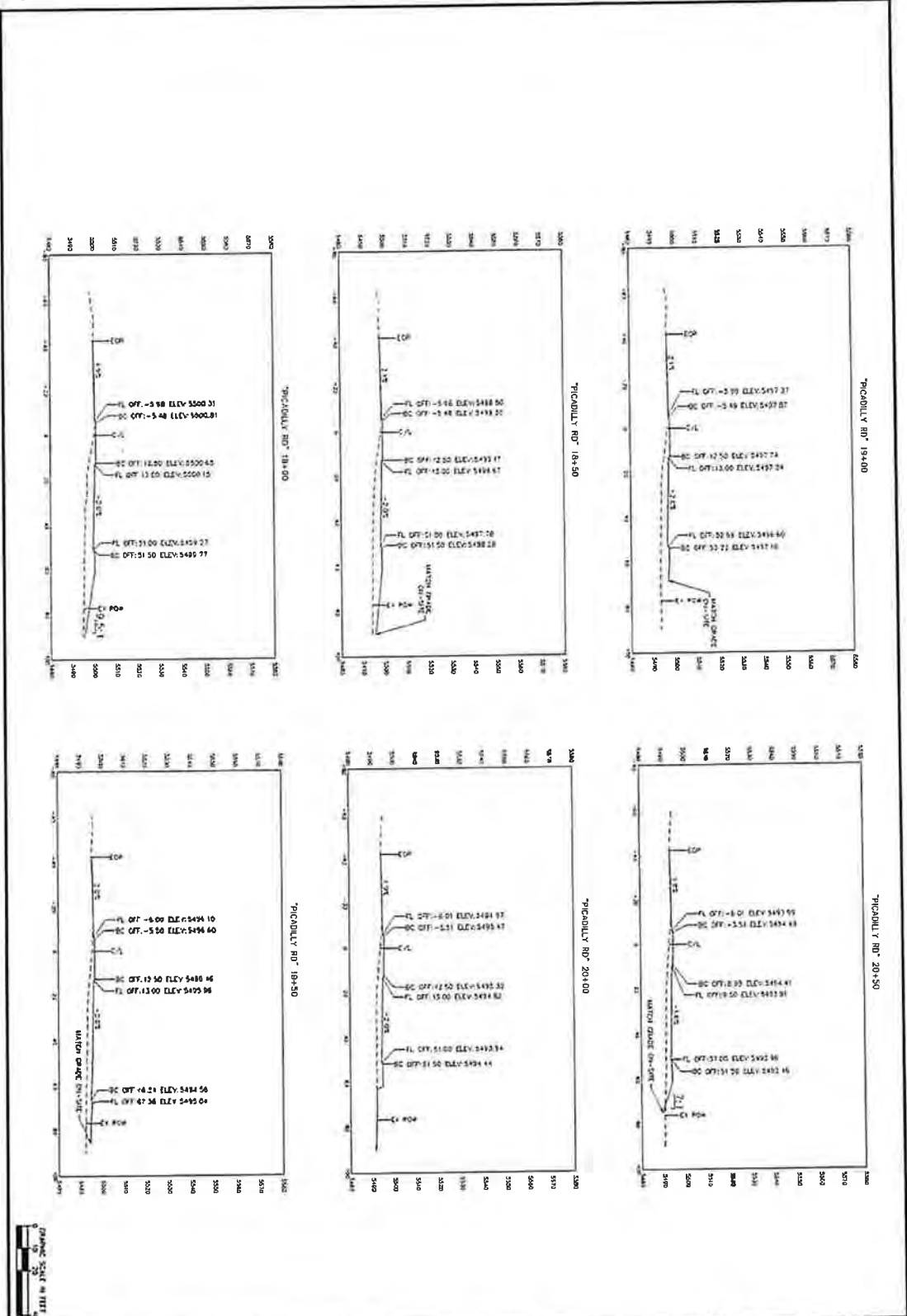


EXHIBIT A - DEFERRED ROADWAY IMPROVEMENTS
SHEET 42 OF 48



PROJECT NO.
SHEET NO. 55

CITY OF AURORA
AURORA COMMERCE CENTER SUBDIVISION FILING NO. 3
PICADILLY ROAD IMPROVEMENTS
CROSS SECTIONS

Kimley»Horn
KIMLEY-HORN AND ASSOCIATES, INC.
482 SOUTH ALBERT STREET, SUITE 1300
DENVER, COLORADO 80227 (303) 733-2300

NO.	REVISION	BY	DATE

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APPROVED ON 07/12/2021

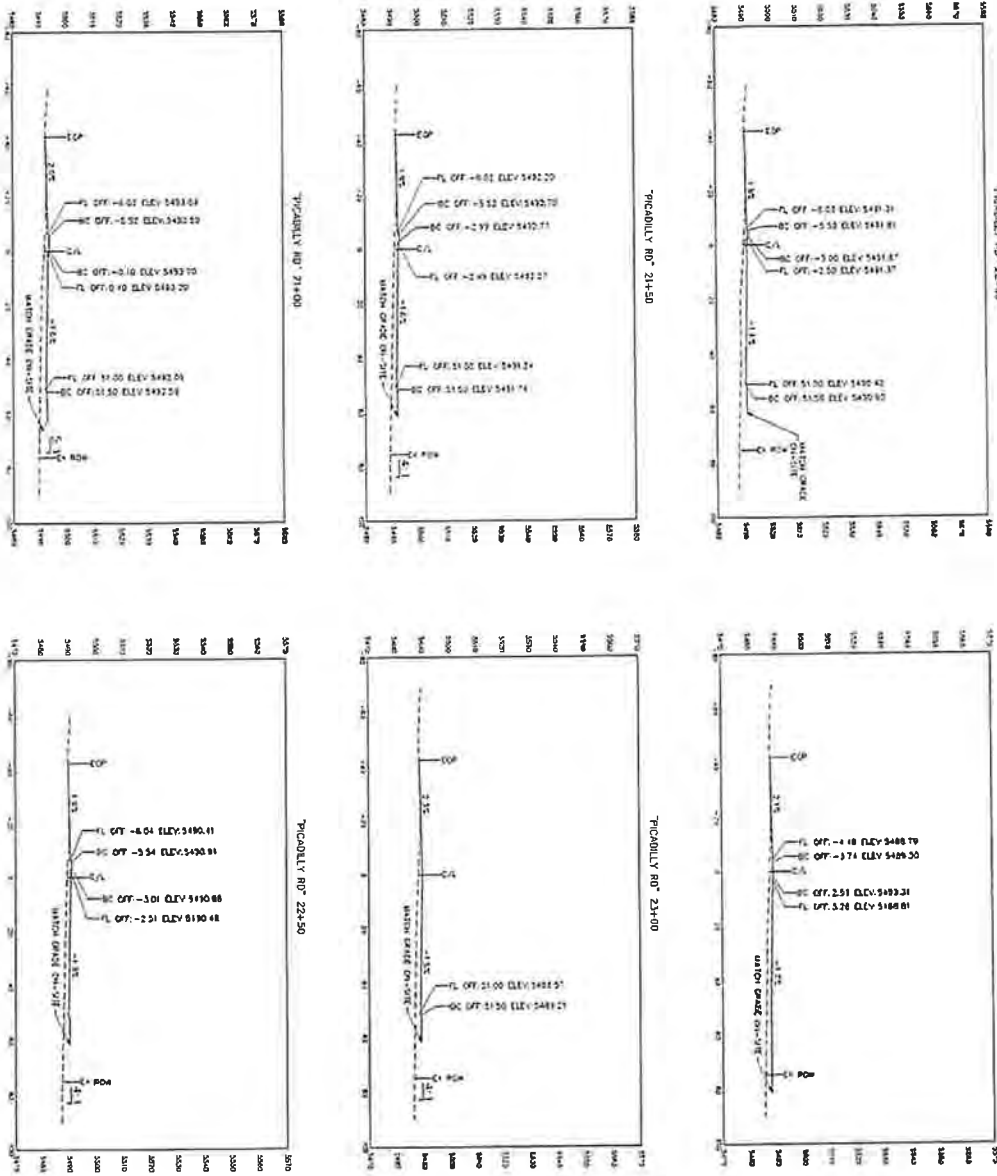


EXHIBIT A - DEFERRED ROADWAY IMPROVEMENTS

SHEET 43 OF 48



CITY OF AURORA
AURORA COMMERCE CENTER SUBDIVISION FILING NO. 3
PICADILLY ROAD IMPROVEMENTS
CROSS SECTIONS

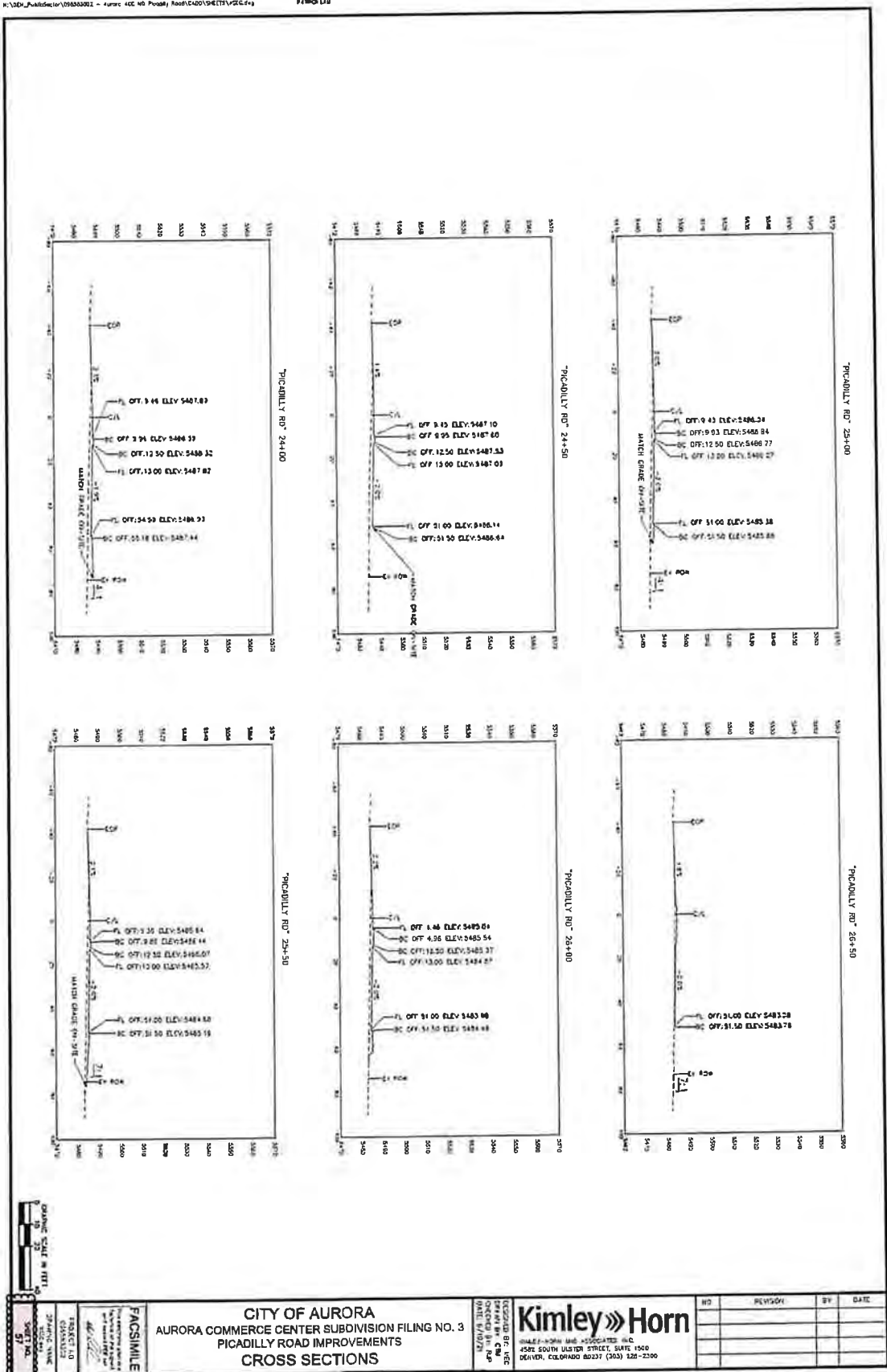
PRODUCTION
 DRAWING TITLE: CROSS SECTIONS
 SHEET NO: 43

FACSIMILE
 Kimley-Horn and Associates, Inc.
 1625 South Wether Street, Suite 1000
 Denver, Colorado 80227 (303) 328-2100

DESIGNED BY: MJC
 CHECKED BY: REP
 DATE: 6/15/21

Kimley-Horn
 KIMLEY-HORN AND ASSOCIATES, INC.
 1625 SOUTH WETHER STREET, SUITE 1000
 DENVER, COLORADO 80227 (303) 328-2100

NO	REVISION	BY	DATE



APPROVED ON 07/12/2021

EXHIBIT A - DEFERRED ROADWAY IMPROVEMENTS
SHEET 44 OF 48

GRAPHIC SCALE = 1" = 10'
SHEET NO. 57

FACSIMILE
The City of Aurora is a member of the Facsimile Network, a service that allows for the quick and easy distribution of documents to other members of the network.

CITY OF AURORA
AURORA COMMERCE CENTER SUBDIVISION FILING NO. 3
PICADILLY ROAD IMPROVEMENTS
CROSS SECTIONS

Kimley Horn
KIMLEY-HORN AND ASSOCIATES, INC.
4502 SOUTH WILDER STREET, SUITE 1500
DENVER, COLORADO 80237 (303) 732-2500

NO.	REVISION	BY	DATE

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APPROVED ON 07/12/2021

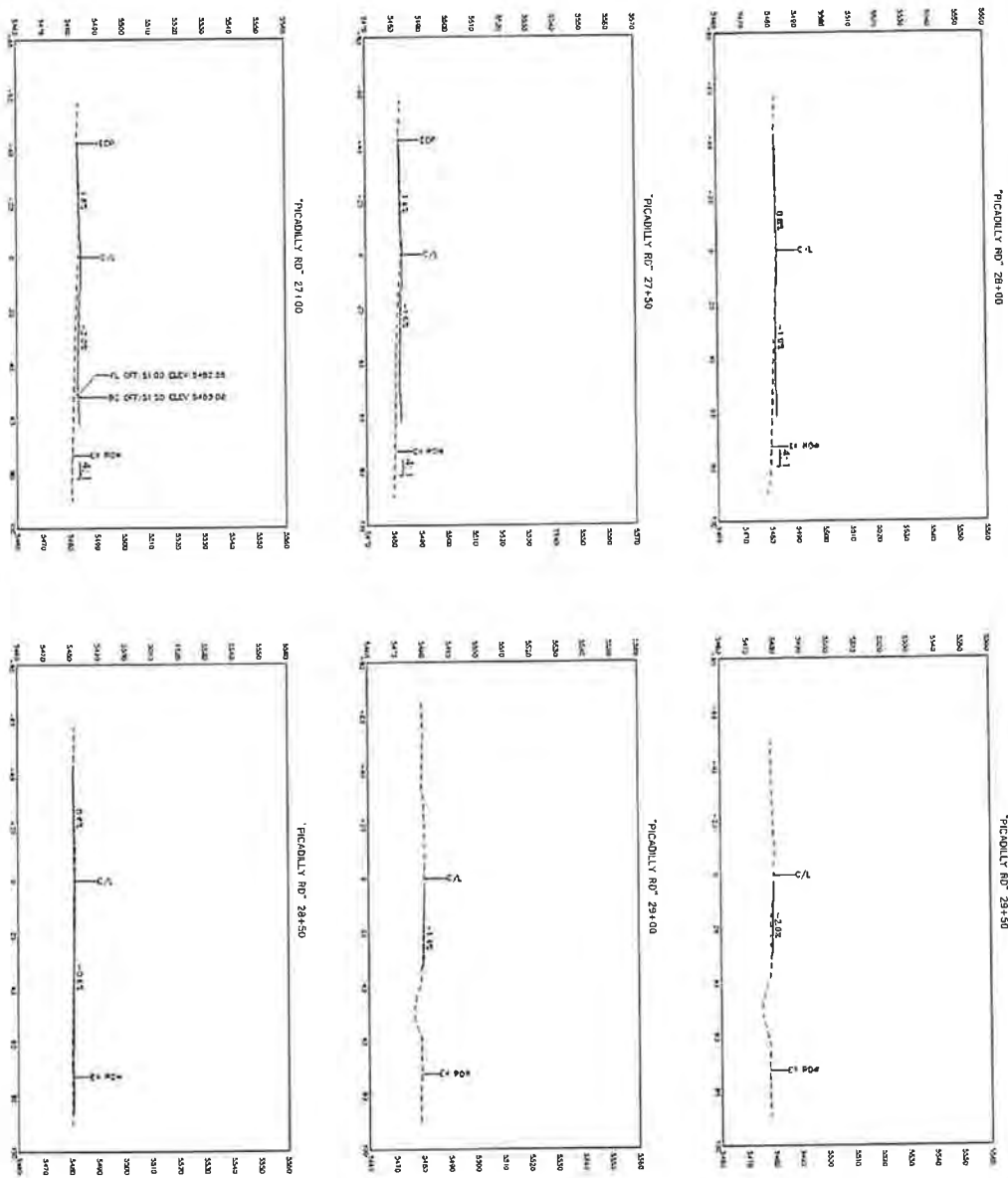


EXHIBIT A - DEFERRED ROADWAY IMPROVEMENTS

SHEET 45 OF 48

GRAPHIC SCALE: HORIZONTAL 1" = 20', VERTICAL 1" = 5'

DATE: 07/12/2021

PROJECT: AURORA COMMERCE CENTER SUBDIVISION IMPROVEMENTS

FACSIMILE

Kimley-Horn & Associates, Inc.

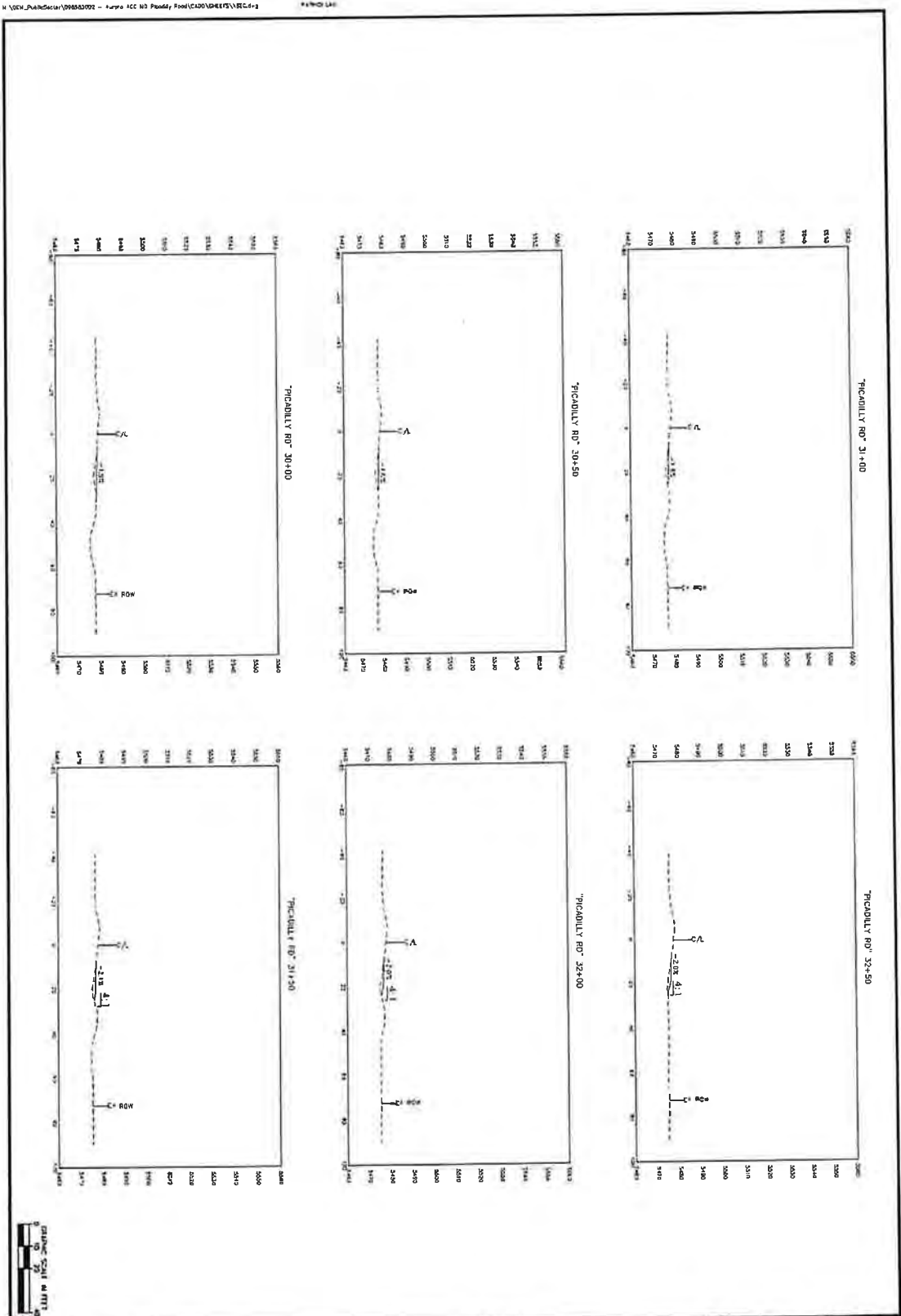
1000 15th Street, Suite 1000
Denver, Colorado 80202 (303) 733-2100

CITY OF AURORA
 AURORA COMMERCE CENTER SUBDIVISION FILING NO. 3
 PICADILLY ROAD IMPROVEMENTS
 CROSS SECTIONS

Kimley-Horn

Kimley-Horn & Associates, Inc.
 1000 15th Street, Suite 1000
 Denver, Colorado 80202 (303) 733-2100

NO	REVISION	BY	DATE



APPROVED ON 07/12/2021

EXHIBIT A - DEFERRED ROADWAY IMPROVEMENTS

SHEET 46 OF 48

<p>GRAPHIC SCALE 1/8"</p>	<p>FACSIMILE</p>	<p>CITY OF AURORA AURORA COMMERCE CENTER SUBDIVISION FILING NO. 3 PICADILLY ROAD IMPROVEMENTS CROSS SECTIONS</p>	<p>DESIGNED BY: JWC CHECKED BY: JWC DATE: 6/10/21</p>	<p>Kimley Horn KIMLEY-HORN AND ASSOCIATES, INC. 4552 SOUTH HILSTED STREET, SUITE 1400 DENVER, COLORADO 80237 (303) 222-2500</p>	NO	REVISION	BY	DATE

H:\1924_P\Projects\192408002 - Aurora CCS HO Phas2y Road\CAD\DWG\TSV\SSG.dwg P:\PLOT.dwg

APPROVED ON 07/12/2021

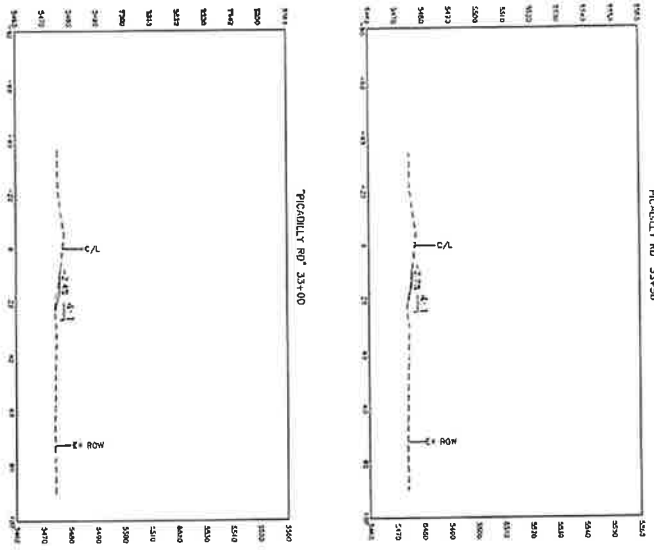


EXHIBIT A - DEFERRED ROADWAY IMPROVEMENTS
SHEET 47 OF 48

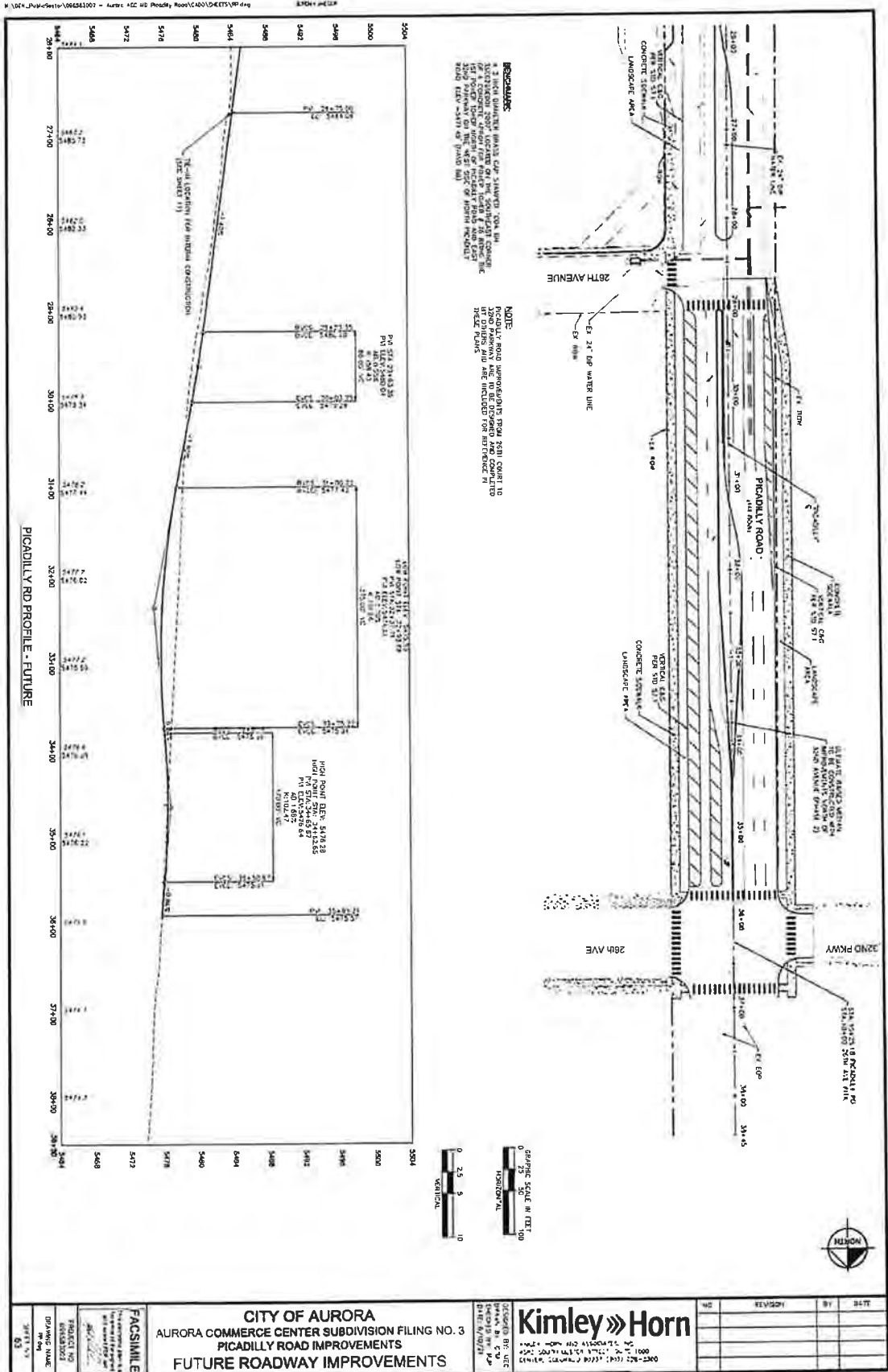
GRAPHIC SCALE 1" = 40'
DATE: 07/12/21
SHEET NO. 47 OF 48

FACSIMILE
UNLESS OTHERWISE NOTED, ALL DIMENSIONS ARE IN FEET AND INCHES.
DIMENSIONS SHOWN IN PARENTHESES ARE IN METERS.

CITY OF AURORA
AURORA COMMERCE CENTER SUBDIVISION FILING NO. 3
PICADILLY ROAD IMPROVEMENTS
CROSS SECTIONS

Kimley»Horn
KIMLEY-HORN AND ASSOCIATES, INC.
4502 SOUTH WALTER STREET, SUITE 1500
DENVER, COLORADO 80237 (303) 328-2100

NO.	REVISION	BY	DATE



APPROVED ON 07/12/2021

EXHIBIT A - DEFERRED ROADWAY IMPROVEMENTS
SHEET 48 OF 48

	PROJECT NO. DATE: 7/12/21	CITY OF AURORA AURORA COMMERCE CENTER SUBDIVISION FILING NO. 3 PICADILLY ROAD IMPROVEMENTS FUTURE ROADWAY IMPROVEMENTS	FACSIMILE PROJECT NO. DATE: 7/12/21
	SHEET NO. OF TOTAL SHEETS	SHEET NO. OF TOTAL SHEETS	SHEET NO. OF TOTAL SHEETS

EXHIBIT B

Deferred Storm Improvements

CITY OF AURORA GENERAL NOTES

- 2018 02 1. The City of Aurora reserves the right to require the contractor to provide a performance bond for the construction of the project.
- 2018 03 2. The City of Aurora reserves the right to require the contractor to provide a performance bond for the construction of the project.
- 2018 04 3. The City of Aurora reserves the right to require the contractor to provide a performance bond for the construction of the project.
- 2018 05 4. The City of Aurora reserves the right to require the contractor to provide a performance bond for the construction of the project.
- 2018 06 5. The City of Aurora reserves the right to require the contractor to provide a performance bond for the construction of the project.
- 2018 07 6. The City of Aurora reserves the right to require the contractor to provide a performance bond for the construction of the project.
- 2018 08 7. The City of Aurora reserves the right to require the contractor to provide a performance bond for the construction of the project.
- 2018 09 8. The City of Aurora reserves the right to require the contractor to provide a performance bond for the construction of the project.
- 2018 10 9. The City of Aurora reserves the right to require the contractor to provide a performance bond for the construction of the project.
- 2018 11 10. The City of Aurora reserves the right to require the contractor to provide a performance bond for the construction of the project.
- 2018 12 11. The City of Aurora reserves the right to require the contractor to provide a performance bond for the construction of the project.
- 2019 01 12. The City of Aurora reserves the right to require the contractor to provide a performance bond for the construction of the project.
- 2019 02 13. The City of Aurora reserves the right to require the contractor to provide a performance bond for the construction of the project.
- 2019 03 14. The City of Aurora reserves the right to require the contractor to provide a performance bond for the construction of the project.
- 2019 04 15. The City of Aurora reserves the right to require the contractor to provide a performance bond for the construction of the project.
- 2019 05 16. The City of Aurora reserves the right to require the contractor to provide a performance bond for the construction of the project.
- 2019 06 17. The City of Aurora reserves the right to require the contractor to provide a performance bond for the construction of the project.
- 2019 07 18. The City of Aurora reserves the right to require the contractor to provide a performance bond for the construction of the project.
- 2019 08 19. The City of Aurora reserves the right to require the contractor to provide a performance bond for the construction of the project.
- 2019 09 20. The City of Aurora reserves the right to require the contractor to provide a performance bond for the construction of the project.
- 2019 10 21. The City of Aurora reserves the right to require the contractor to provide a performance bond for the construction of the project.
- 2019 11 22. The City of Aurora reserves the right to require the contractor to provide a performance bond for the construction of the project.
- 2019 12 23. The City of Aurora reserves the right to require the contractor to provide a performance bond for the construction of the project.

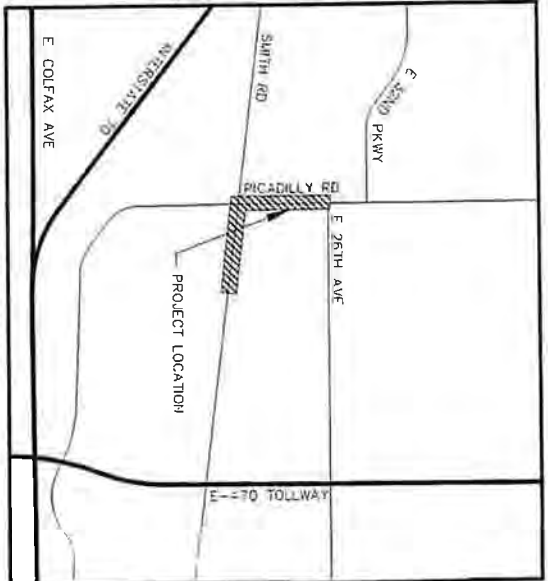
CITY OF AURORA

AURORA COMMERCE CENTER SUBDIVISION FILING NO. 3

PICADILLY ROAD AND SMITH ROAD IMPROVEMENTS -

SMITH ROAD TO 32ND PARKWAY

ADAMS COUNTY, CITY OF AURORA, COLORADO



PROJECT LOCATION

SMITH ROAD TO 32ND PARKWAY

NO.	REVISION	BY	DATE
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SUMMARY OF DEFERRED STORM CONSTRUCTION WORKSHEET OF

NOTE: THE CONTRACTOR SHALL COMPLY WITH THE SUBMITTAL REQUIREMENTS OF THE CITY OF AURORA AND THE STATE OF COLORADO. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF AURORA AND THE STATE OF COLORADO. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF AURORA AND THE STATE OF COLORADO.

BENCHMARK AND DATUM: A 2018 BENCHMARK WAS USED FOR THE SURVEY. THE BENCHMARK IS LOCATED AT THE INTERSECTION OF SMITH ROAD AND PICADILLY ROAD. THE BENCHMARK IS A 100MM DIAMETER BENCH MARK WITH A 10MM DEPTH. THE BENCHMARK IS A 100MM DIAMETER BENCH MARK WITH A 10MM DEPTH.

CLIENT: AURORA COMMERCE CENTER PHASE 1, LLC
 1000 SOUTH SMITH ROAD
 AURORA, CO 80012

CIVIL ENGINEER: KIMLEY HORN
 4592 SOUTH WALTON STREET, SUITE 1500
 DENVER, CO 80231
 CONTACT: MARK BROWN, P.E.

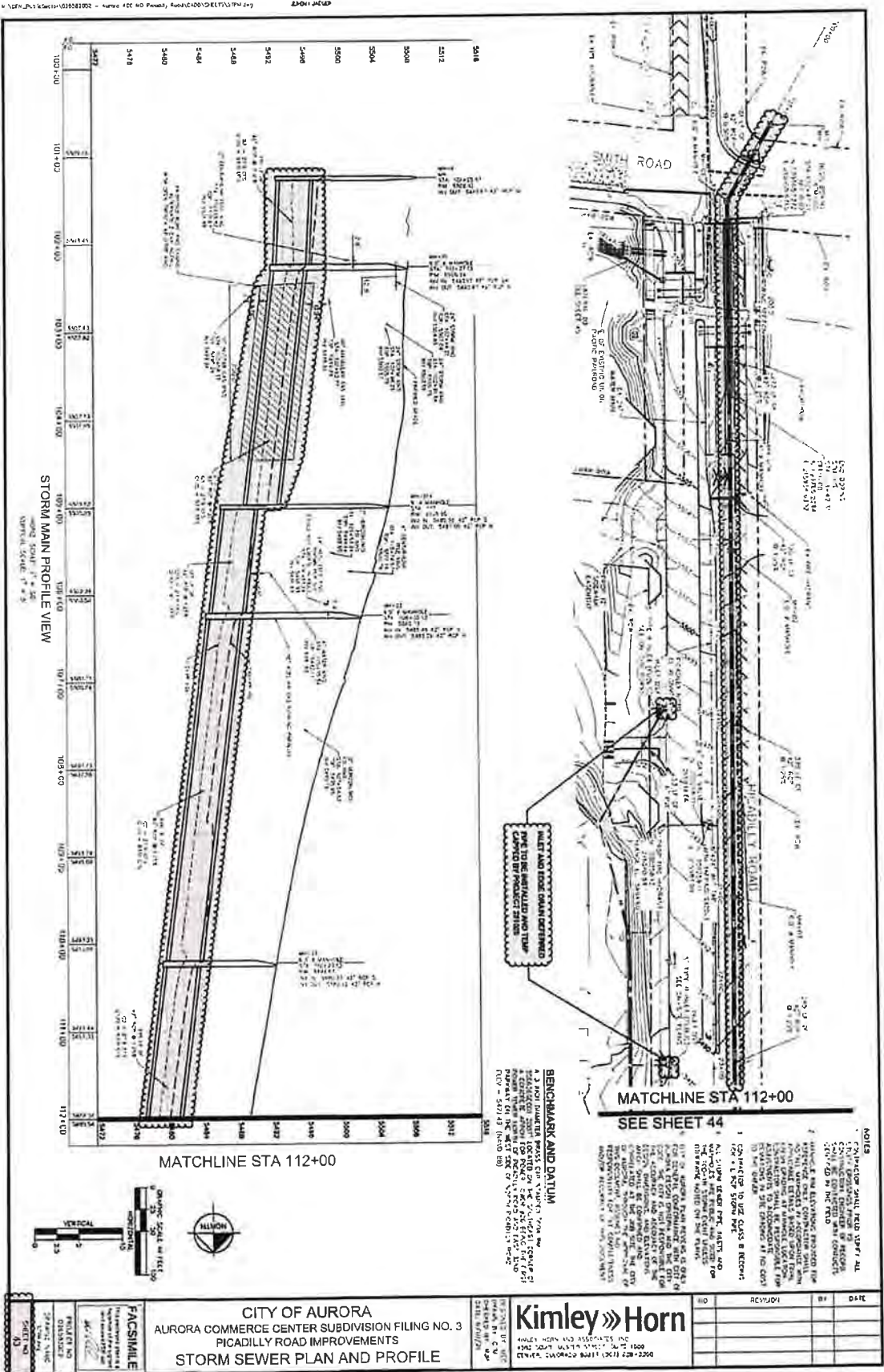
APPROVED FOR THE LOCATION THIS DATE: 07/19/2021
 [Signature]

CITY OF AURORA
 AURORA COMMERCE CENTER SUBDIVISION FILING NO. 3
 PICADILLY ROAD IMPROVEMENTS
 COVER SHEET

Kimley Horn
 KIMLEY HORN AND ASSOCIATES INC.
 4592 SOUTH WALTON STREET, SUITE 1500
 DENVER, COLORADO 80231 (303) 726-2300

APPROVED ON 07/12/2021

EXHIBIT B - DEFERRED STORM IMPROVEMENTS
 SHEET 1 OF 5



APPROVED ON 07/12/2021

EXHIBIT B - DEFERRED STORM IMPROVEMENTS SHEET 3 OF 5

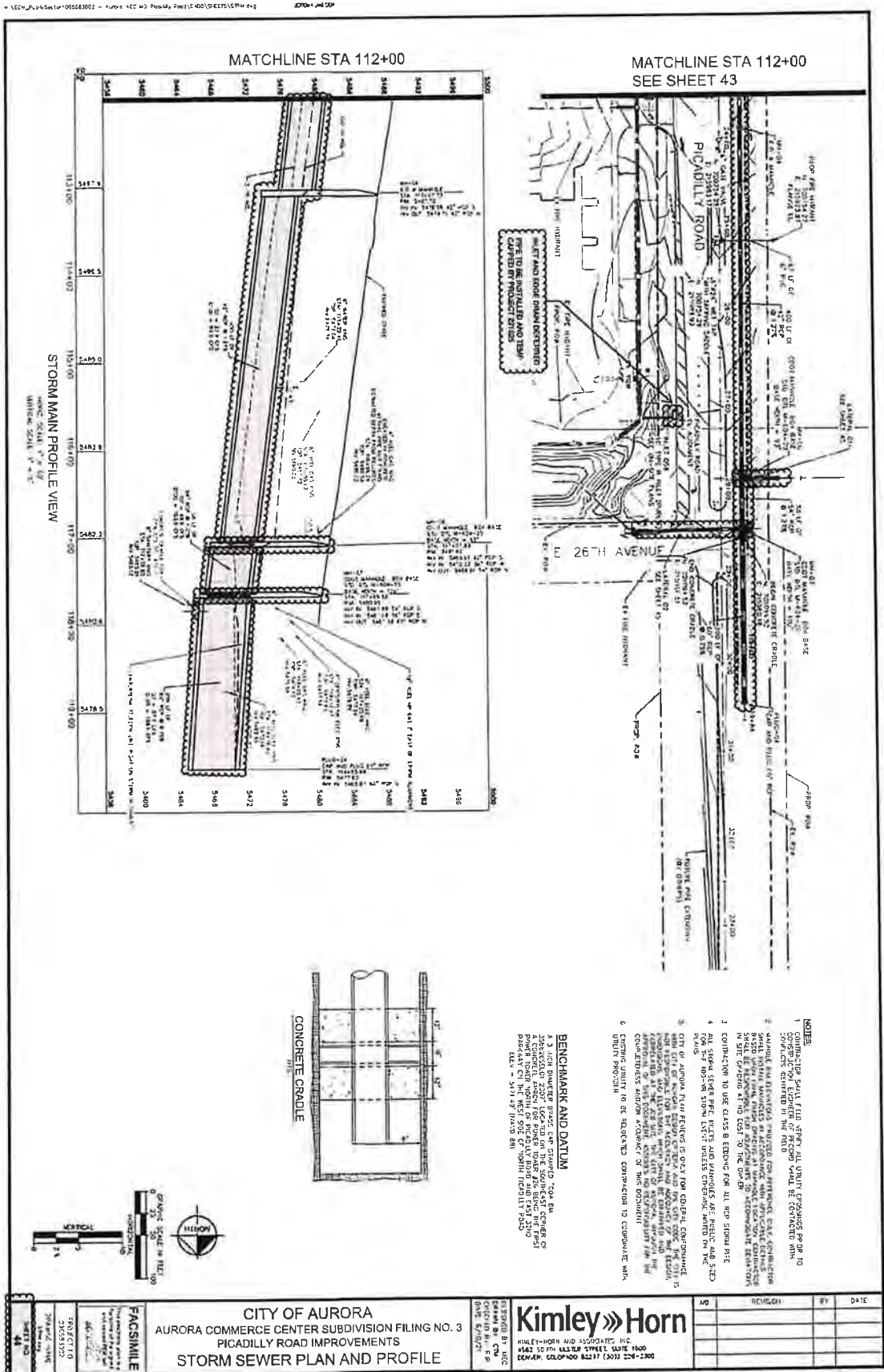
PROJECT NO.	221219
SHEET NO.	43
DATE	07/12/2021

CITY OF AURORA
 AURORA COMMERCE CENTER SUBDIVISION FILING NO. 3
 PICADILLY ROAD IMPROVEMENTS
 STORM SEWER PLAN AND PROFILE

Kimley»Horn

10000 N. 111th Street, Lincoln, NE 68504
 402.464.1111

NO.	REVISION	BY	DATE



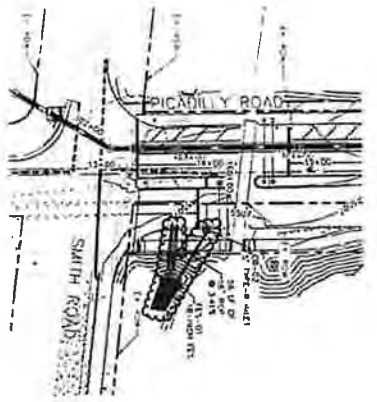
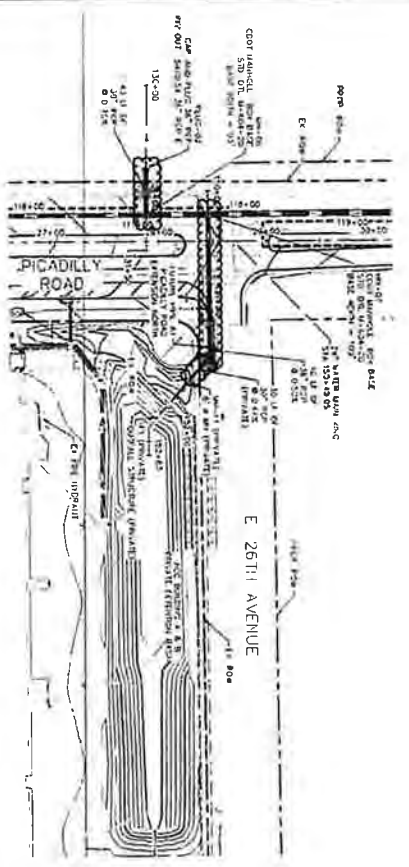
APPROVED ON 07/12/2021

EXHIBIT B - DEFERRED STORM IMPROVEMENTS SHEET 4 OF 5

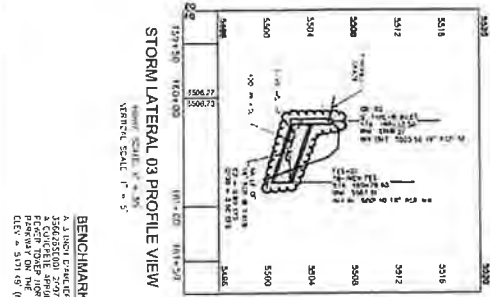
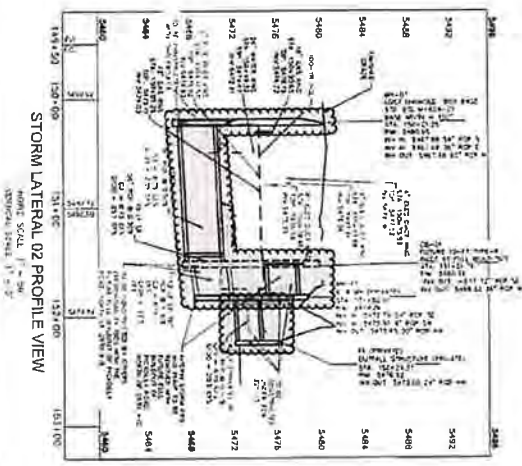
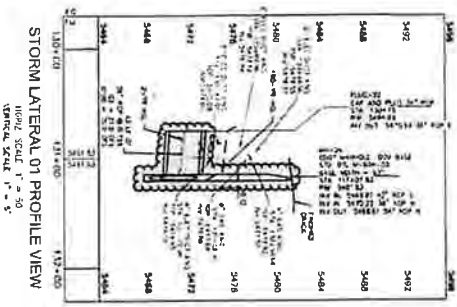
- NOTES:**
- CONTRACTOR SHALL VERIFY ALL UTILITY CROSSINGS PER PG & E CONTRACTS GENERATED IN THE FIELD.
 - CONTRACTOR SHALL VERIFY ALL UTILITY CROSSINGS PER PG & E CONTRACTS GENERATED IN THE FIELD.
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 - CONTRACTOR SHALL VERIFY ALL UTILITY CROSSINGS PER PG & E CONTRACTS GENERATED IN THE FIELD.

BENCHMARK AND DATUM:
 3. 1/4" SCALE BENCHMARK AND DATUM TO BE PROVIDED BY CONTRACTOR. BENCHMARK SHALL BE LOCATED ON THE SOUTH-EAST CORNER OF THE INTERSECTION OF PICADILLY ROAD AND 26TH AVENUE. DATUM SHALL BE THE ELEVATION OF THE BENCHMARK.

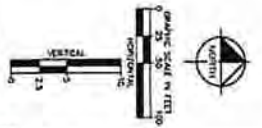
<p>CITY OF AURORA AURORA COMMERCE CENTER SUBDIVISION FILING NO. 3 PICADILLY ROAD IMPROVEMENTS STORM SEWER PLAN AND PROFILE</p>	<p>Kimley»Horn 1000 N. 11TH STREET, SUITE 100 DENVER, CO 80202 TEL: 303.733.1111 FAX: 303.733.1112</p>
--	---



- NOTES:**
1. CONSTRUCTION SHALL VERIFY ALL EXISTING CONDITIONS OF RECORD DRAWINGS, FIELD SURVEY DATA, AND ALL UTILITIES BEFORE CONSTRUCTION.
 2. UNLESS OTHERWISE NOTED, ALL DIMENSIONS SHALL BE TO CENTERLINE UNLESS OTHERWISE NOTED.
 3. CONSTRUCTION SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE CITY OF AURORA.
 4. ALL MATERIALS SHALL BE OF THE QUALITY AND IN ACCORDANCE WITH THE CITY OF AURORA SPECIFICATIONS.
 5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE CITY OF AURORA.
 6. ALL UTILITIES SHALL BE PROTECTED AND MAINTAINED THROUGHOUT CONSTRUCTION.
 7. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE CITY OF AURORA.
 8. ALL MATERIALS SHALL BE OF THE QUALITY AND IN ACCORDANCE WITH THE CITY OF AURORA SPECIFICATIONS.
 9. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE CITY OF AURORA.



BENCHMARK AND DATUM
 BENCHMARK: 7524.84
 DATUM: 1985
 CONSTRUCTION SHALL VERIFY ALL EXISTING CONDITIONS OF RECORD DRAWINGS, FIELD SURVEY DATA, AND ALL UTILITIES BEFORE CONSTRUCTION.



APPROVED ON 07/12/2021

EXHIBIT B - DEFERRED STORM IMPROVEMENTS SHEET 5 OF 5

CITY OF AURORA
AURORA COMMERCE CENTER SUBDIVISION FILING NO. 3
PICADILLY ROAD IMPROVEMENTS
STORM SEWER PLAN AND PROFILE

Kimley»Horn
 4000 E. 19th Avenue, Suite 200
 Aurora, Colorado 80012
 Phone: 303.733.2200
 Fax: 303.733.2201
 Email: info@kimleyhorn.com

NO.	REVISION	BY	DATE

PROJECT NO.
DATE PLOTTED
SCALE

EXHIBIT C

Non-Deferred Improvements

CITY OF AURORA GENERAL NOTES

- 201501: CITY OF AURORA SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF AURORA AND THE STATE OF COLORADO. THE CITY OF AURORA SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF AURORA AND THE STATE OF COLORADO.
- 201502: THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF AURORA AND THE STATE OF COLORADO.
- 201503: THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF AURORA AND THE STATE OF COLORADO.
- 201504: THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF AURORA AND THE STATE OF COLORADO.
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- 201506: THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF AURORA AND THE STATE OF COLORADO.
- 201507: THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF AURORA AND THE STATE OF COLORADO.
- 201508: THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF AURORA AND THE STATE OF COLORADO.
- 201509: THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF AURORA AND THE STATE OF COLORADO.
- 201510: THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF AURORA AND THE STATE OF COLORADO.
- 201511: THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF AURORA AND THE STATE OF COLORADO.
- 201512: THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF AURORA AND THE STATE OF COLORADO.
- 201513: THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF AURORA AND THE STATE OF COLORADO.
- 201514: THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF AURORA AND THE STATE OF COLORADO.
- 201515: THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF AURORA AND THE STATE OF COLORADO.
- 201516: THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF AURORA AND THE STATE OF COLORADO.
- 201517: THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF AURORA AND THE STATE OF COLORADO.
- 201518: THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF AURORA AND THE STATE OF COLORADO.
- 201519: THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF AURORA AND THE STATE OF COLORADO.
- 201520: THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF AURORA AND THE STATE OF COLORADO.
- 201521: THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF AURORA AND THE STATE OF COLORADO.
- 201522: THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF AURORA AND THE STATE OF COLORADO.

APPROVED ON 07/12/2021

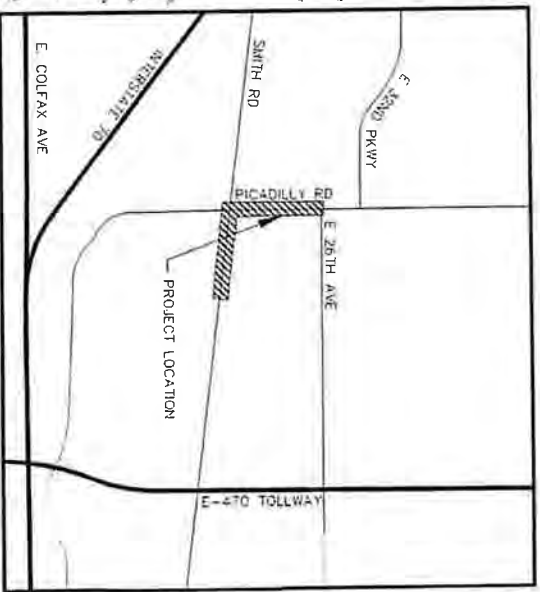
CITY OF AURORA

AURORA COMMERCE CENTER SUBDIVISION FILING NO. 3

PICADILLY ROAD AND SMITH ROAD IMPROVEMENTS -

SMITH ROAD TO 32ND PARKWAY

ADAMS COUNTY, CITY OF AURORA, COLORADO



NON-DEFERRED CONSTRUCTION LEGEND
 BY DISTRICT
 NOT A PARTY TO AGREEMENT

SHEET INDEX

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CIVIL ENGINEER
 4582 S. WILSON STREET, SUITE 100
 DENVER, CO 80231
 PHONE: 303.733.1111
 FAX: 303.733.1112
 EMAIL: INFO@KIMLEY-HORN.COM
 CONTACT: WALT DUNAWAY, P.E.

APPROVED FOR THE DISTRICT
 DATE: 07/12/2021
 BY: [Signature]
 TITLE: [Title]

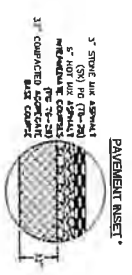
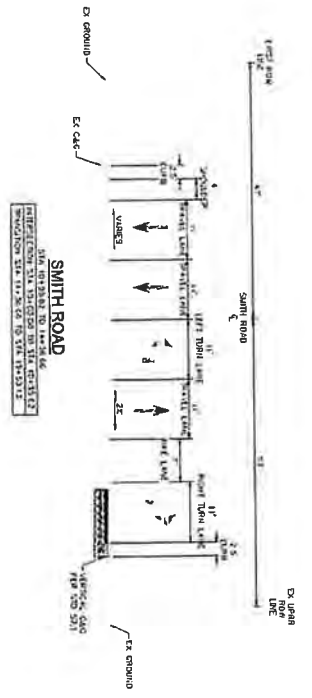
PROJECT NO.
DATE
BY
DATE

EXHIBIT C - NON DEFERRED IMPROVEMENTS
SHEET 1 OF 14

Kimley»Horn
 KIMLEY-HORN AND ASSOCIATES, INC.
 4582 SOUTH WILSON STREET, SUITE 100
 DENVER, CO 80231 (303) 733-1111

CITY OF AURORA
AURORA COMMERCE CENTER SUBDIVISION FILING NO. 3
PICADILLY ROAD IMPROVEMENTS
COVER SHEET

H:\VIEW_Plan\Aurora\Aurora\221219.dwg - Aurora ACC RD Picadilly Road(CADD)DATE:11/13/13 4:04:44 PM



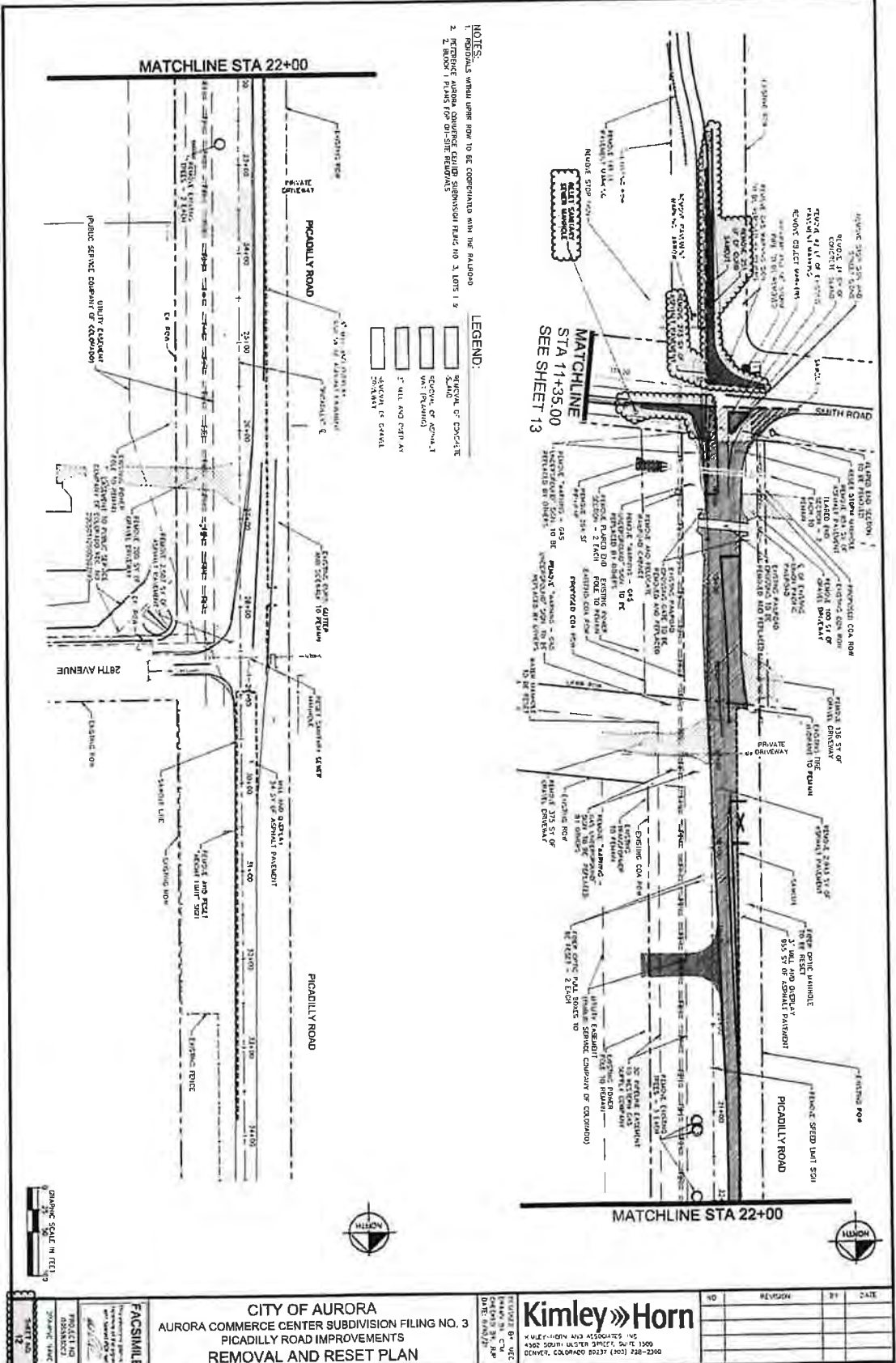
- NOTES:**
- 1. REFER TO DESIGN REPORT PREPARED BY THE ENGINEER FOR DETAILS OF THE ROADWAY AND SHOULDER PREPARATION AND INSTALLATION.
 - 2. FOR CROSS SLOPE, TRANSFORM SEE PLAN, PROFILE AND DRAINAGE SHEETS.
 - 3. REFER TO ON-SITE PLANS FOR LANDSCAPE IMPROVEMENTS.

- LEGEND:**
- 1. CONTRACTOR REQUIRED TO GRAZE AND RE-VEGETATE, MAINTAIN A ON-SITE PAVED PAVED OR STORM ALTERNATIVE.

APPROVED ON 07/11/2021

EXHIBIT C - NON DEFERRED IMPROVEMENTS
 SHEET 2 OF 14

<p>CITY OF AURORA AURORA COMMERCE CENTER SUBDIVISION FILING NO. 3 PICADILLY ROAD IMPROVEMENTS TYPICAL SECTION</p>	<p>Kimley»Horn KIMLEY-HORN AND ASSOCIATES, INC. 4582 SOUTH ULSTER STREET, SUITE 1500 DENVER, COLORADO 80227 (303) 226-2500</p>	<p>NO. _____</p> <p>REVISION _____</p> <p>DATE _____</p>
--	--	--



- NOTES:
1. REMOVALS SHALL BE COORDINATED WITH THE RAJUDPO
 2. REVERSE AUGER CONDUIT SUBSTITUTION PERIOD NO. 3, LOTS 1 & 2
 3. SEE PLAN FOR ONE-SIDE REMOVALS

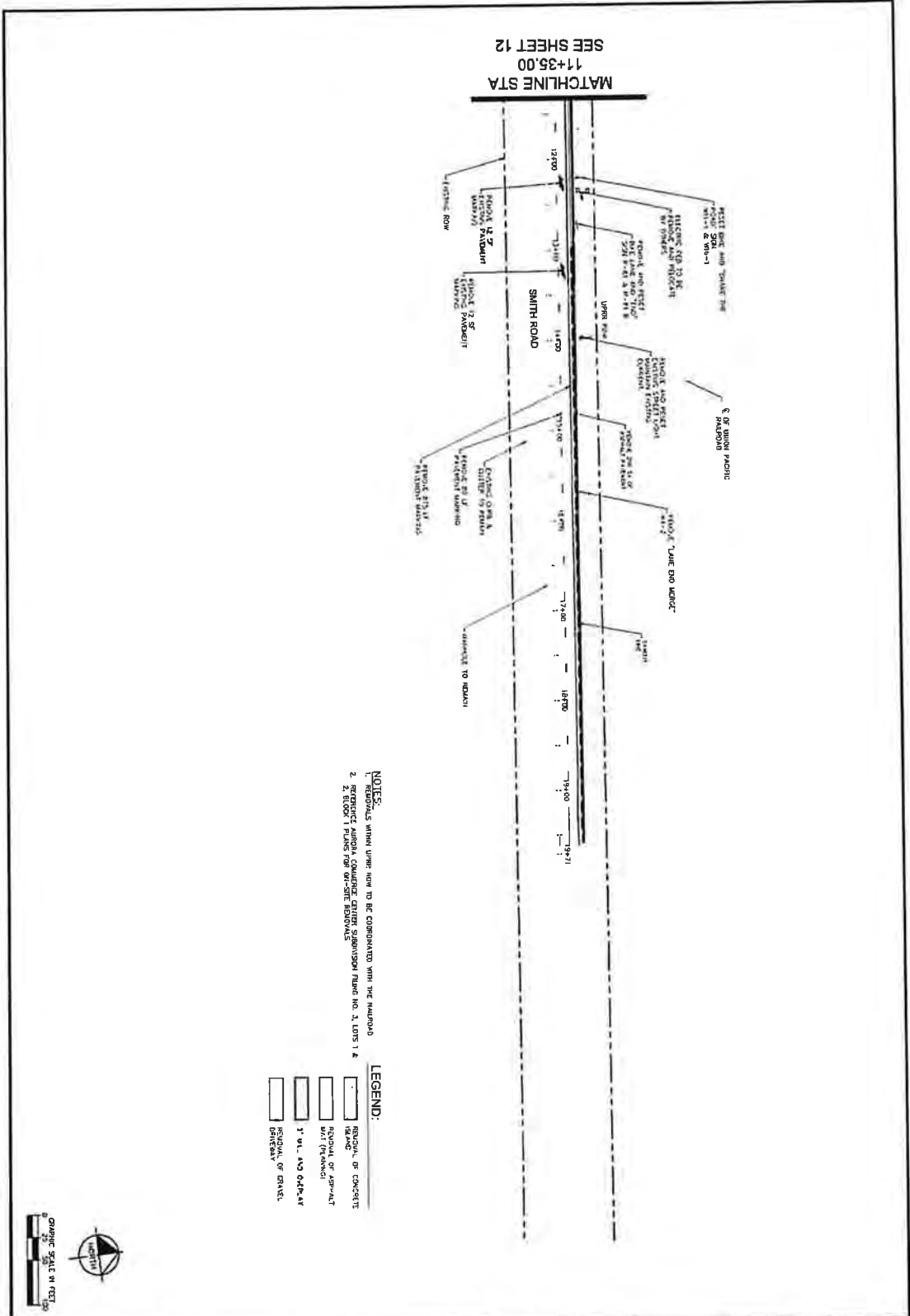
- LEGEND:
- REMOVAL OF CONCRETE
 - REMOVAL OF ASPHALT
 - REMOVAL OF GRAVEL
 - REMOVAL OF CURB AND GUTTER
 - REMOVAL OF SIDEWALK

APPROVED ON 07/12/2021

EXHIBIT C - NON DEFERRED IMPROVEMENTS SHEET 3 OF 14

<p>PROJECT NO. 2021-001</p> <p>SHEET NO. 12</p>	<p>CITY OF AURORA AURORA COMMERCE CENTER SUBDIVISION FILING NO. 3 PICADILLY ROAD IMPROVEMENTS REMOVAL AND RESET PLAN</p>	<p>Kimley»Horn</p> <p>Kimley-Horn and Associates, Inc. 4302 SOUTH WILSON STREET, SUITE 100 DENVER, COLORADO 80231 (303) 733-4200</p>	<p>DATE: 07/12/21</p> <p>PROJECT BY: JEC</p> <p>CHECKED BY: RJP</p> <p>DATE: 07/12/21</p>
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APPROVED ON 07/12/2021



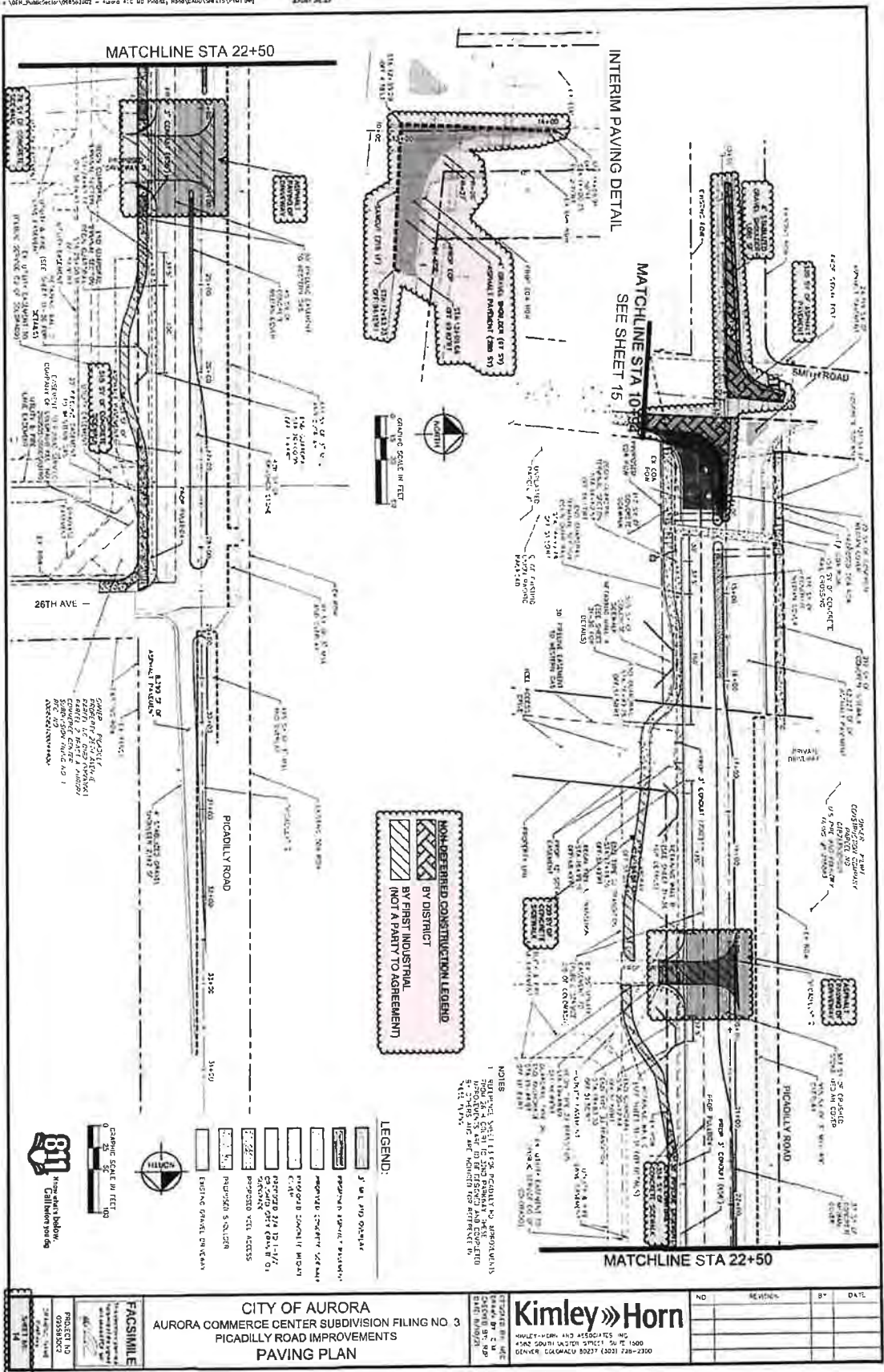
- NOTES:
 1. CONDITIONS WHEN WORK TO BE COMPLETED WITH THE MAINROAD
 2. REFER TO ALL OTHER CHANGING CENTER SUBDIVISION PLANS NO. 3, LOTS 1 & 2, BLOCK 1 PLANS FOR ON-SITE REMOVALS

LEGEND:

[Symbol]	REMOVE, OR CONCRETE (S&M)
[Symbol]	REMOVE, OR ASPHALT (S&M)
[Symbol]	1" VAL. AND G&P-AV
[Symbol]	REMOVE, OR GRAVEL DRIVEWAY

EXHIBIT C - NON DEFERRED IMPROVEMENTS
SHEET 4 OF 14

<p>GRAPHIC SCALE IN FEET</p>	<p>FACSIMILE</p> <p>PROJECT NO. 08282002</p>	<p>CITY OF AURORA AURORA COMMERCE CENTER SUBDIVISION FILING NO. 3 PICADILLY ROAD IMPROVEMENTS REMOVAL AND RESET PLAN</p>	<p>Kimley»Horn</p> <p>Kimley-Horn and Associates, Inc. 1000 South Wacker Drive, Suite 1000 Denver, Colorado 80217 (303) 732-2300</p>	NO.	REVISION	BY	DATE

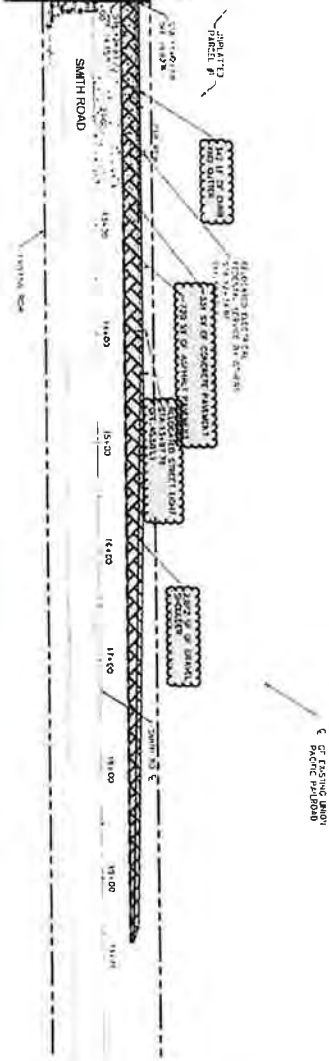


APPROVED ON 07/12/2021

EXHIBIT C - NON DEFERRED IMPROVEMENTS SHEET 5 OF 14

	CITY OF AURORA AURORA COMMERCE CENTER SUBDIVISION FILING NO. 3 PICADILLY ROAD IMPROVEMENTS PAVING PLAN		
	PROJECT NO. 14 SHEET NO. 5 OF 14	DATE:	

SEE SHEET 14
MATCHLINE STA 10+94



LEGEND

[Pattern]	PROPERTY SPECIAL FEATURES
[Pattern]	PROPERTY OWNER
[Pattern]	PROPERTY ADDRESS
[Pattern]	PROPERTY DISTRICT
[Pattern]	PROPERTY LOT
[Pattern]	PROPERTY TRACT
[Pattern]	PROPERTY SECTION
[Pattern]	PROPERTY QUARTER SECTION
[Pattern]	PROPERTY BAY
[Pattern]	PROPERTY W/2
[Pattern]	PROPERTY E/4
[Pattern]	PROPERTY NE/4
[Pattern]	PROPERTY SW/4
[Pattern]	PROPERTY NW/4
[Pattern]	PROPERTY SE/4
[Pattern]	PROPERTY SW/4
[Pattern]	PROPERTY NE/4

EXHIBIT C - NON DEFERRED IMPROVEMENTS
SHEET 6 OF 14

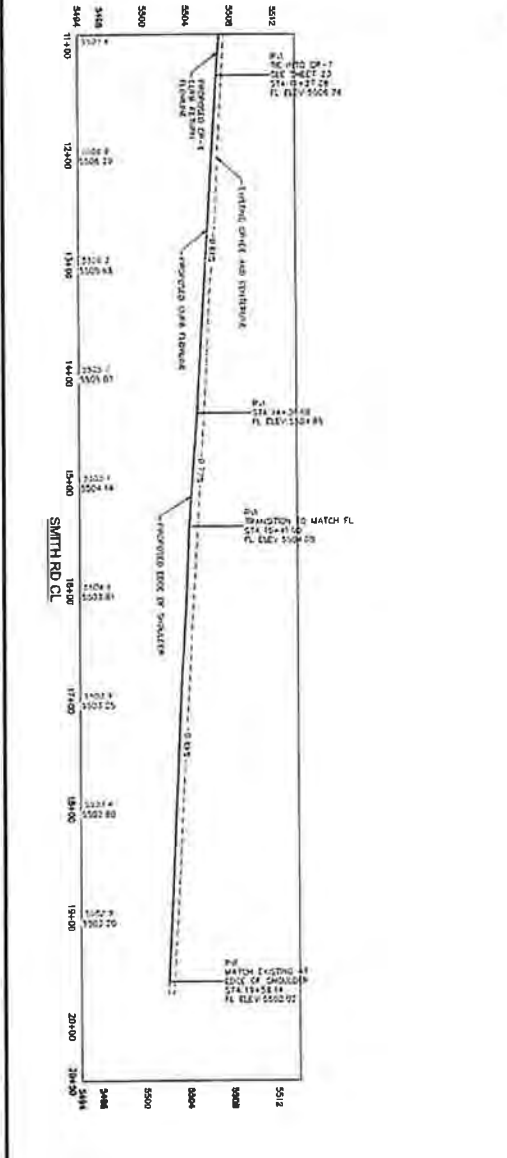
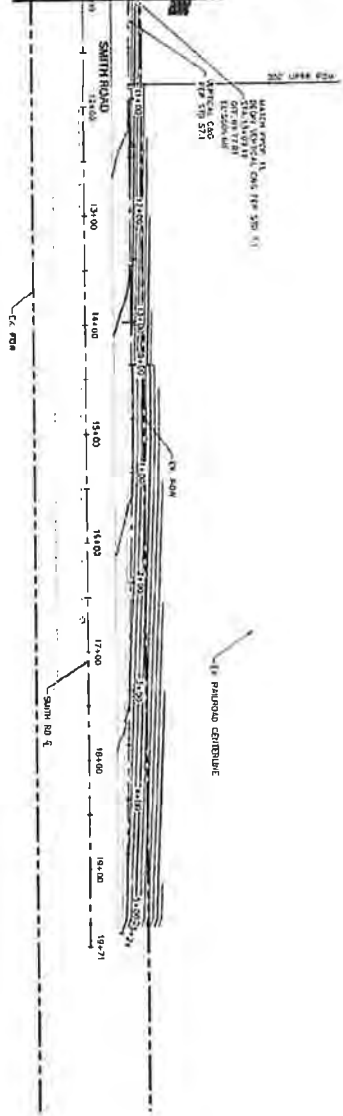
ID	REVISION	BY	DATE

CITY OF AURORA
AURORA COMMERCE CENTER SUBDIVISION FILING NO. 3
PICADILLY ROAD IMPROVEMENTS
PAVING PLAN

Kimley»Horn
KIMLEY-HORN AND ASSOCIATES, INC.
4587 SOUTH UICHTER STREET, SUITE 1800
DENVER, COLORADO 80237 (303) 225-2500

REVISION BY
CHECKED BY
DESIGNED BY
DRAWN BY
DATE

MATCHLINE STA 11+00 - SEE SHEET 16



- LEGEND:**
- ② SEE SHEET 20 FOR CURVE TABLE DATA
 - ③ SEE SHEET 20 FOR UIC TABLE DATA
 - ↖ SHOW VARIOUS DIRECTIONAL FLOW ARROW

NOTES:

1. REFER TO SHEET 20 FOR UIC AND CHART DATA.
2. REFER TO SHEET 20 FOR PROFILES TO BE CONSTRUCTED. THESE PROFILES ARE TO BE USED FOR REFERENCE IN THESE PLANS.
3. REFER TO SHEET 20 FOR PROFILES TO BE CONSTRUCTED. THESE PROFILES ARE TO BE USED FOR REFERENCE IN THESE PLANS.
4. CONSTRUCTION SHALL UTILIZE A BANDWIDTH OF 0.5% GRADE AT FLOW LINE TO DRAIN.
5. CONNECTIONS WITH EXISTING SIDEWALKS SHALL BE MADE IN ACCORDANCE WITH THE CITY OF AURORA STANDARD SPECIFICATIONS FOR CONSTRUCTION OF SIDEWALKS.
6. PROFILE IS BASED ON PROPOSED ROADWAY FINAL DESIGN CONSTRUCTION.
7. CONSTRUCTION AND FINISHING WITH UIC CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF AURORA STANDARD SPECIFICATIONS FOR CONSTRUCTION OF SIDEWALKS.

REMARKS:
 A 2" JUNE DIAMETER BRASS CAP STAMPING TO BE PLACED AT THE END OF EACH SIDEWALK AND BIKEWAY. THE STAMPING SHALL BE IN ACCORDANCE WITH THE CITY OF AURORA STANDARD SPECIFICATIONS FOR CONSTRUCTION OF SIDEWALKS.

APPROVED ON 07/12/2021

EXHIBIT C - NON DEFERRED IMPROVEMENTS

SHEET 7 OF 14

NO.	REVISION	BY	DATE

CITY OF AURORA
 AURORA COMMERCE CENTER SUBDIVISION FILING NO. 3
 PICADILLY ROAD IMPROVEMENTS
 PLAN AND PROFILE

Kimley»Horn
 KIMLEY-HORN AND ASSOCIATES, INC.
 4582 SOUTH ULSTER STREET, SUITE 1500
 DENVER, COLORADO 80227 (303) 738-2500

PROJECT NO.
 DRUMMERS HALL

SHEET NO.
 18

CITY OF AURORA EROSION CONTROL NOTES

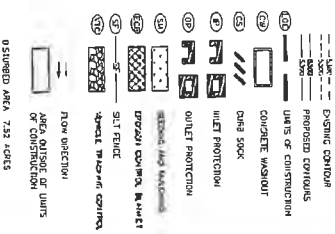
Standard erosion control measures shall be installed on all sites of the Aurora Municipal Center. The following erosion control measures shall be installed on all sites of the Aurora Municipal Center:

1. The contractor shall be responsible for the preparation of any erosion control plan. The plan shall include a site plan showing the location of all erosion control measures, a schedule of installation, and a description of the measures to be installed. The plan shall also include a description of the measures to be installed to prevent sediment from entering the storm sewer system.
2. The contractor shall be responsible for the installation of all erosion control measures. The measures shall be installed in accordance with the schedule and description provided in the erosion control plan.
3. The contractor shall be responsible for the maintenance of all erosion control measures. The measures shall be maintained in good working order throughout the construction period.
4. The contractor shall be responsible for the removal of all erosion control measures. The measures shall be removed when they are no longer needed and the site has been stabilized.
5. The contractor shall be responsible for the replacement of any erosion control measures that are damaged or destroyed during the construction period.
6. The contractor shall be responsible for the installation of all erosion control measures on all sites of the Aurora Municipal Center. The measures shall be installed in accordance with the schedule and description provided in the erosion control plan.
7. The contractor shall be responsible for the maintenance of all erosion control measures. The measures shall be maintained in good working order throughout the construction period.
8. The contractor shall be responsible for the removal of all erosion control measures. The measures shall be removed when they are no longer needed and the site has been stabilized.
9. The contractor shall be responsible for the replacement of any erosion control measures that are damaged or destroyed during the construction period.

CONSTRUCTION STANDARDS

- Refer to the Aurora Municipal Center, Aurora, Colorado, for the most current information regarding the standards for construction of erosion control measures. The standards shall be installed in accordance with the schedule and description provided in the erosion control plan.
1. The contractor shall be responsible for the preparation of any erosion control plan.
 2. The contractor shall be responsible for the installation of all erosion control measures.
 3. The contractor shall be responsible for the maintenance of all erosion control measures.
 4. The contractor shall be responsible for the removal of all erosion control measures.
 5. The contractor shall be responsible for the replacement of any erosion control measures that are damaged or destroyed during the construction period.

LEGEND



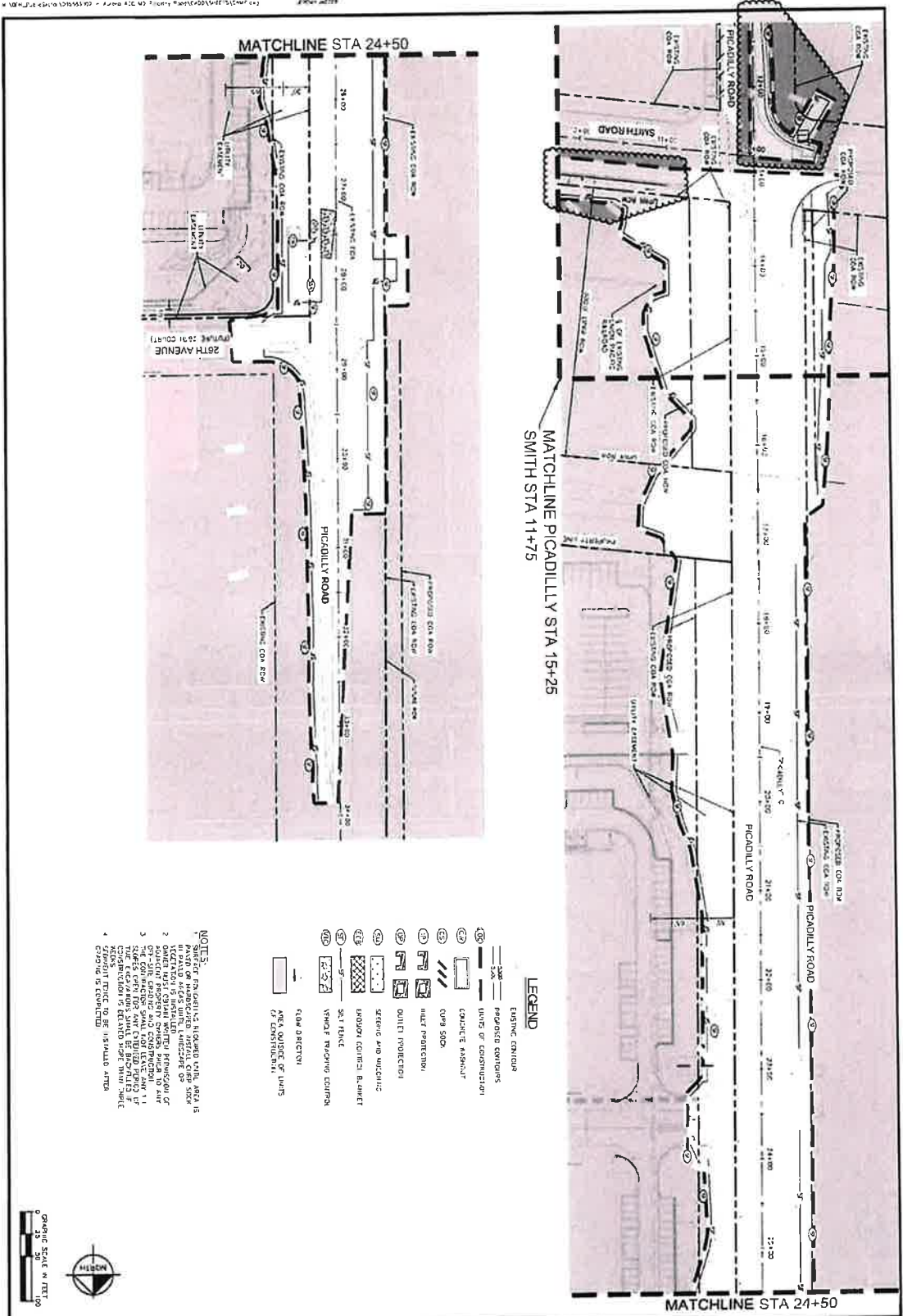
APPROVED ON 07/12/2021

EXHIBIT C - NON DEFERRED IMPROVEMENTS SHEET 8 OF 14

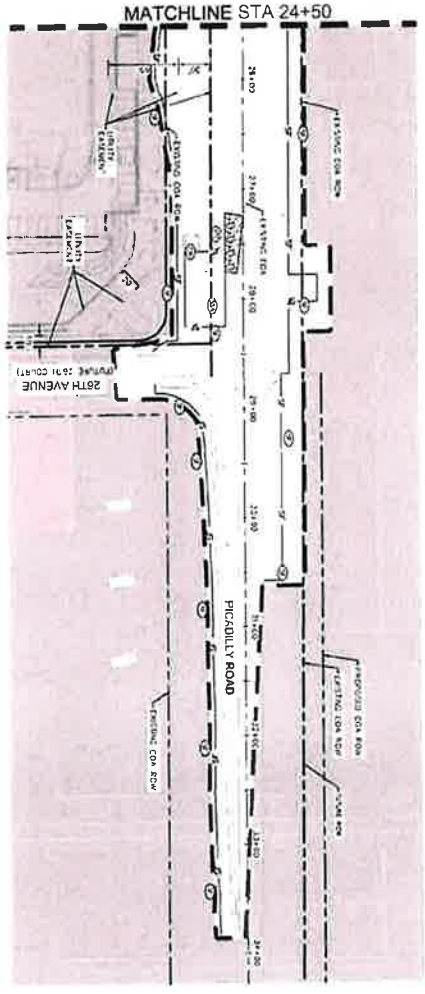
Kimley Horn
 4582 COUNTY ROAD 175, SUITE 100
 BOULDER, COLORADO 80521 (303) 442-2300

CITY OF AURORA
 AURORA COMMERCIAL CENTER SUBDIVISION FILING NO. 3
 PICADILLY ROAD IMPROVEMENTS
 STORM WATER MANAGEMENT NOTES

PROJECT NO. 2021-001
 DRAWING NAME: STORM WATER MANAGEMENT NOTES
 SHEET NO. 48



MATCHLINE PICADILLY STA 15+25
SMITH STA 11+75



LEGEND

- EXISTING CONTOUR
- PROPOSED CONTOUR
- LINE OF CONSTRUCTION
- CONCRETE ASPHALT
- CURB AND GUTTER
- MILET PAVEMENT
- UTILITY PROTECTION
- STREET LIGHT FIXTURE
- UTILITY ENCLOSURE
- STREET LIGHT
- STREET LIGHT FOUNDATION
- AREA OUTSIDE OF LIMITS OF CONSTRUCTION
- FLOW DIRECTION

- NOTES:**
1. STREET LIGHTING: BROADWAY LIGHT AREA IS IN PLANT AREA UNTIL 1/1/2022 OR DATE OF CONSTRUCTION.
 2. UTILITIES: ALL UTILITIES SHOWN ARE BASED ON RECORD DRAWINGS AND FIELD SURVEY. VERIFY UTILITIES BEFORE CONSTRUCTION.
 3. THE CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF AURORA SPECIFICATIONS FOR STREETS AND HIGHWAYS.
 4. DRAINAGE: ALL DRAINAGE SHALL BE TO THE WEST OR SOUTHWEST UNLESS OTHERWISE NOTED.

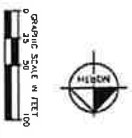
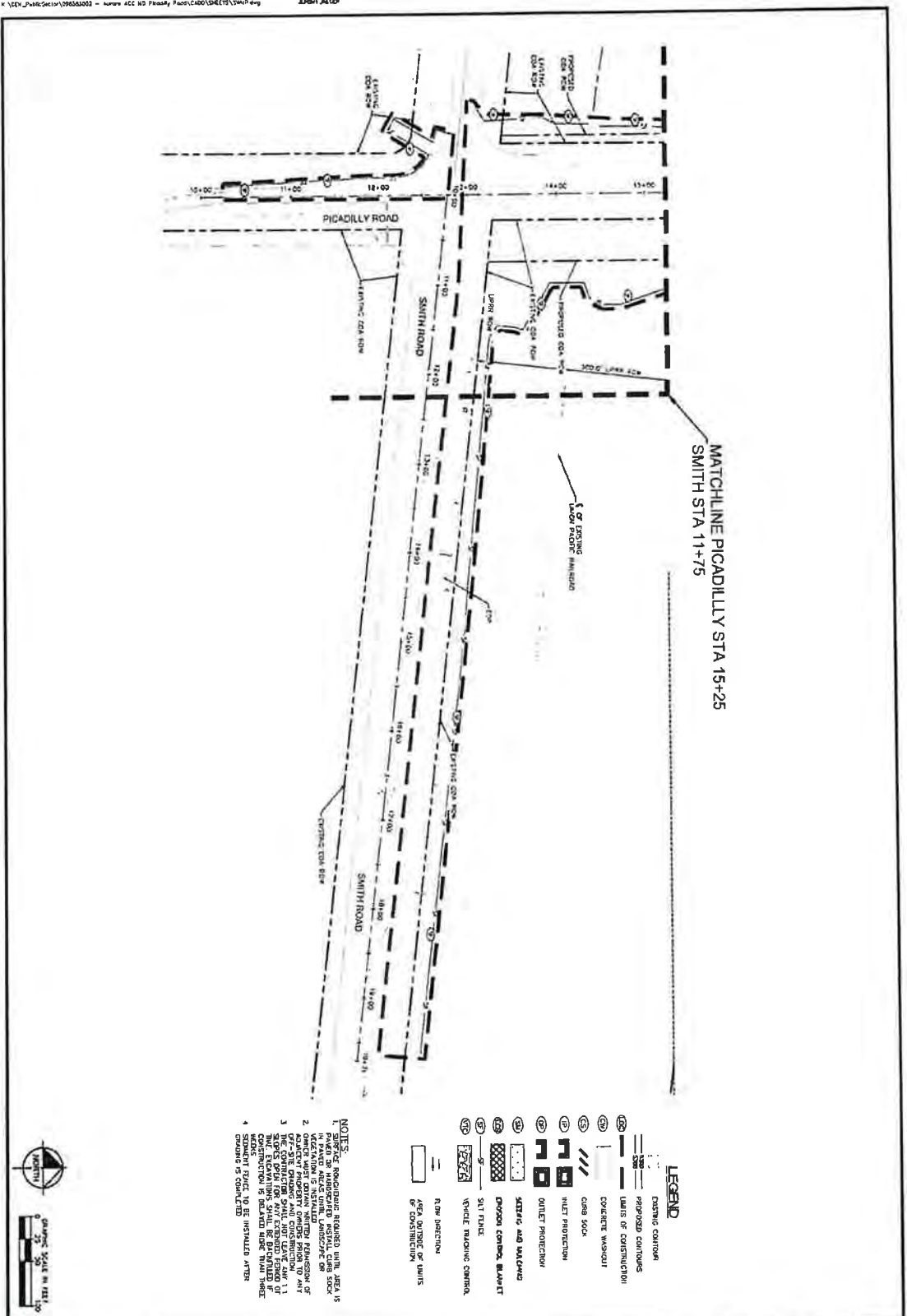


EXHIBIT C - NON DEFERRED IMPROVEMENTS
SHEET 9 OF 14

APPROVED ON 07/12/2021

<p>PROJECT NO. 15-0000000-000</p> <p>DATE 11/11/2015</p> <p>SHEET NO. 49</p>	<p>CITY OF AURORA AURORA COMMERCE CENTER SUBDIVISION FILING NO. 3 PICADILLY ROAD IMPROVEMENTS PICADILLY INITIAL EC PLAN</p>	<p>Kimley»Horn</p> <p>ENGINEERS ARCHITECTS PLANNERS INC. 1000 SOUTH WASHINGTON STREET, SUITE 200 AURORA, ILLINOIS 60007 TEL: 630.271.0000 FAX: 630.271.0001</p>	<table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <th style="width: 10%;">NO.</th> <th style="width: 10%;">REV.</th> <th style="width: 10%;">DATE</th> <th style="width: 10%;">BY</th> <th style="width: 10%;">CHKD.</th> <th style="width: 10%;">APP.</th> </tr> <tr> <td> </td> <td> </td> <td> </td> <td> </td> <td> </td> <td> </td> </tr> </table>	NO.	REV.	DATE	BY	CHKD.	APP.						
NO.	REV.	DATE	BY	CHKD.	APP.										



MATCHLINE PICADILLY STA 15+25
SMITH STA 11+75

- LEGEND**
- EXISTING CONTOUR
 - PROPOSED CONTOUR
 - LIMITS OF CONSTRUCTION
 - CONCRETE WALKWAY
 - CURB SIDE
 - INLET PROTECTION
 - OUTLET PROTECTION
 - SEWERS AND WALLETS
 - DITCHES, CONCRETE WALLETS
 - SILT FENCE
 - VEHICLE MARKING CONTROL
 - ROW DIRECTION
 - AREA, DIRECTION OF LIMITS OF CONSTRUCTION

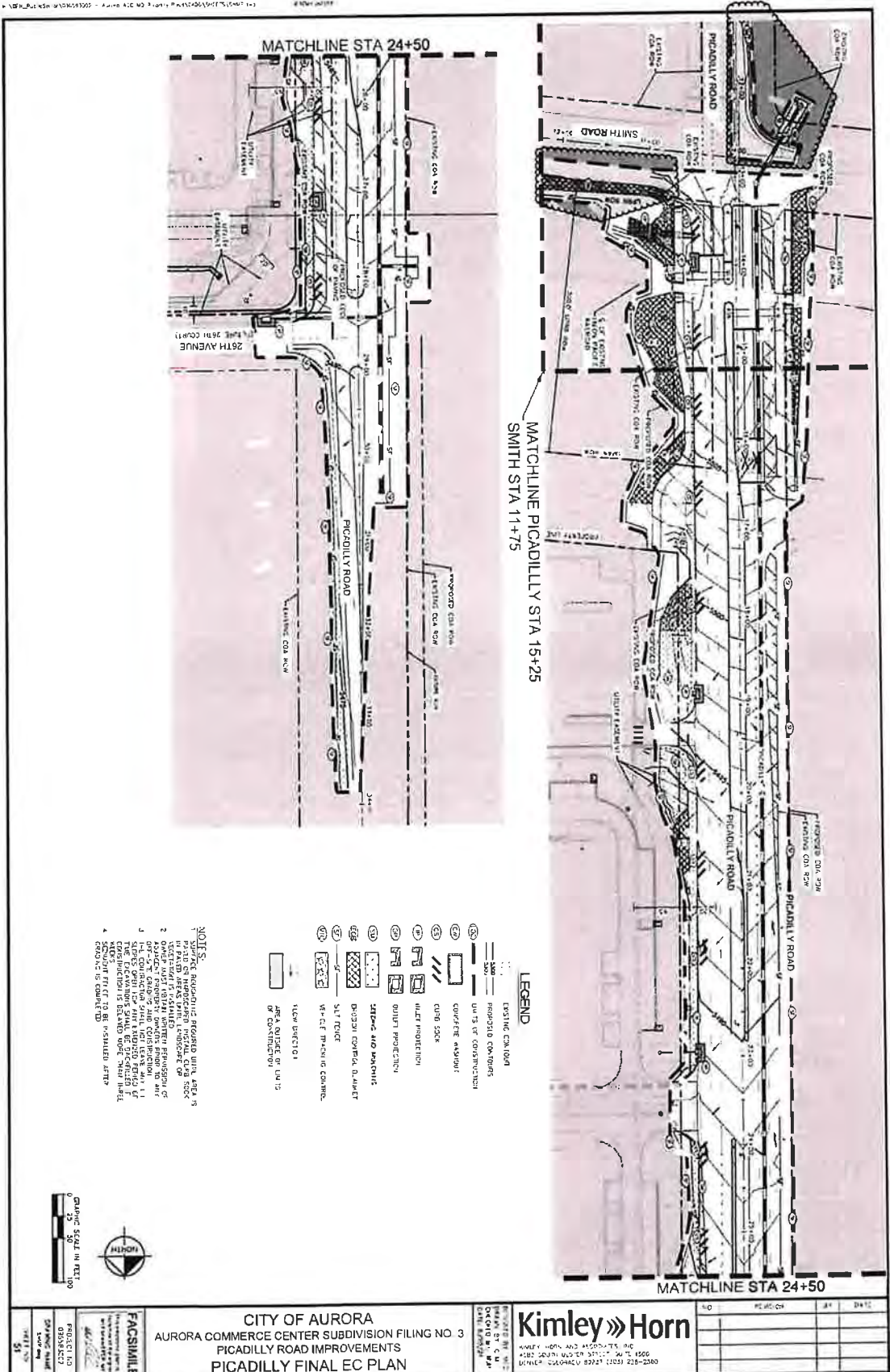
- NOTES:**
1. PROPOSED IMPROVEMENTS SHOWN WITH AREA IS PAVED TO BE MAINTAINED, INSTALLED, CURB SIDE, VEGETATION IS INSTALLED
 2. CURB SIDE WITH DRAINAGE SYSTEMS SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE CITY OF AURORA STANDARD SPECIFICATIONS FOR ROADWAY CONSTRUCTION
 3. ALL UTILITIES SHOWN ARE TO BE MAINTAINED AND PROTECTED THROUGHOUT THE PROJECT. ANY CHANGES TO UTILITIES SHALL BE MADE BEFORE CONSTRUCTION IS INITIATED. ALL UTILITIES SHALL BE MAINTAINED THROUGHOUT CONSTRUCTION AND SHALL BE REINSTALLED AFTER CONSTRUCTION IS COMPLETED



APPROVED ON 07/12/2021

EXHIBIT C - NON DEFERRED IMPROVEMENTS
SHEET 10 OF 14

<p>CITY OF AURORA AURORA COMMERCE CENTER SUBDIVISION FILING NO. 3 PICADILLY ROAD IMPROVEMENTS SMITH INITIAL EC PLAN</p>	<p>Kimley»Horn KIMLEY-HORN AND ASSOCIATES INC 4392 SOUTH ULSTER STREET, SUITE 1800 DENVER, COLORADO 80237 (303) 226-2200</p>	<p>PROJECT NO. DRAWN BY CHECKED BY DATE</p>	<p>DATE</p>	<p>REVISION</p>	<p>BY</p>	<p>DATE</p>
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MATCHLINE PICADILLY STA 15+25
SMITH STA 11+75

MATCHLINE STA 24+50

MATCHLINE STA 24+50

LEGEND

- EXISTING CURB/DM
- PROPOSED CURB/DM
- U/I IS IN CONSTRUCTION
- CONCRETE ASPHALT
- CURB SIDE
- MULTI PROJECTION
- MULTI PROJECTION
- DRAINAGE AND SLOPES
- DRAINAGE CONCRETE DRAINAGE
- S/LT TIEOUT
- V/S C/F P/CH IN CONSTR.
- NEW UTILITY
- AREA OUTSIDE OF U/I IS IN CONSTRUCTION

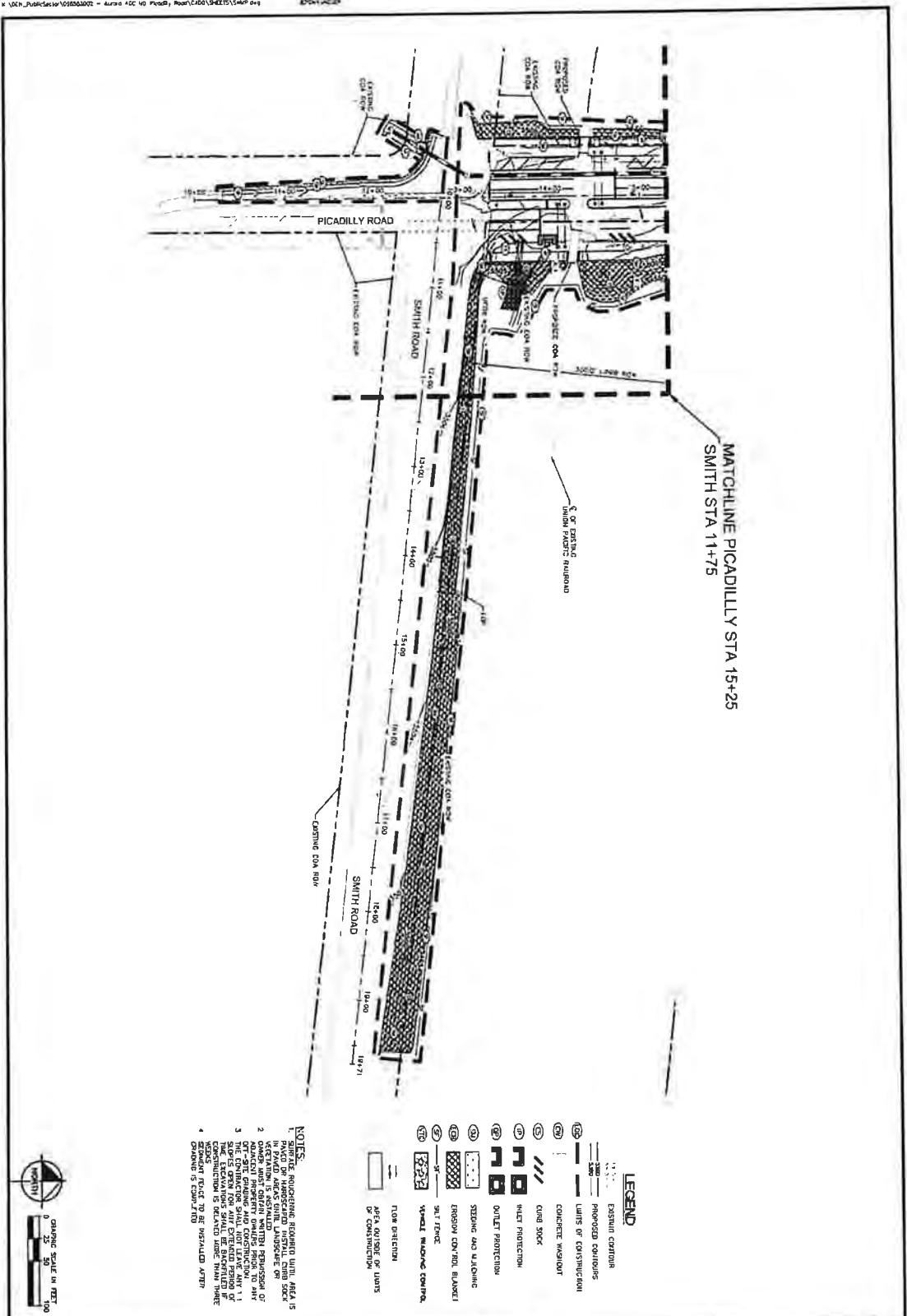
- NOTES:**
1. SURFACE RELOCATION REQUIRED UNTIL AREA IS IN FIELD AREA. FIELD LAYOUTS TO BE SUBMITTED TO THE CITY ENGINEER.
 2. ALL UTILITY RELOCATION SHALL BE IN ACCORDANCE WITH THE CITY ENGINEER'S REQUIREMENTS.
 3. THE CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY ENGINEER'S REQUIREMENTS.
 4. CONSTRUCTION IS DELAYED UNTIL AFTER THE CITY ENGINEER'S REVIEW.



EXHIBIT C - NON DEFERRED IMPROVEMENTS
SHEET 11 OF 14

APPROVED ON 07/12/2021

<p>CITY OF AURORA AURORA COMMERCE CENTER SUBDIVISION FILING NO 3 PICADILLY ROAD IMPROVEMENTS PICADILLY FINAL EC PLAN</p>	<p>Kimley»Horn</p> <p>4400 E. 10TH AND 120TH STS. S.W. SUITE 200 OLYMPIA, WA 98512 PHONE: 360-340-5222 FAX: 360-340-5200</p>	<p>PROJECT NO. 2019-001 DRAWING NO. 11 SHEET NO. 51</p>
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MATCHLINE PICADILLY STA 15+25
SMITH STA 11+75

- NOTES:**
1. SURFING, REPAIRS, AND OTHER UTILITY AREAS SHALL BE COMPLETED PRIOR TO THE START OF CONSTRUCTION. THE CONTRACTOR SHALL MAINTAIN ACCESS TO ALL ADJACENT PROPERTIES AT ALL TIMES. THE CONTRACTOR SHALL NOT LEAVE ANY UTILITY AREAS UNPROTECTED OR UNSECURED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS PRIOR TO THE START OF CONSTRUCTION.
 2. THE CONTRACTOR SHALL MAINTAIN ACCESS TO ALL ADJACENT PROPERTIES AT ALL TIMES. THE CONTRACTOR SHALL NOT LEAVE ANY UTILITY AREAS UNPROTECTED OR UNSECURED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS PRIOR TO THE START OF CONSTRUCTION.
 3. THE CONTRACTOR SHALL MAINTAIN ACCESS TO ALL ADJACENT PROPERTIES AT ALL TIMES. THE CONTRACTOR SHALL NOT LEAVE ANY UTILITY AREAS UNPROTECTED OR UNSECURED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS PRIOR TO THE START OF CONSTRUCTION.
 4. EROSION CONTROL SHALL BE MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD.

LEGEND

- EXISTING CENTERLINE
- PROPOSED CENTERLINE
- LIMITS OF CONSTRUCTION
- CONCRETE WASHOUT
- CURB STOP
- INLET PROTECTION
- OUTLET PROTECTION
- SEEDING AND MOWING
- EROSION CONTROL BLANKET
- SILT FENCE
- VEHICLE REDUCED CONTROL
- FLOW PROTECTION
- AREA, OUTLET OR LIMIT OF CONSTRUCTION

APPROVED ON 07/12/2021

EXHIBIT C - NON DEFERRED IMPROVEMENTS
SHEET 12 OF 14

NO.	REVISION	BY	DATE

CITY OF AURORA
AURORA COMMERCE CENTER SUBDIVISION FILING NO. 3
PICADILLY ROAD IMPROVEMENTS
SMITH FINAL EC PLAN

Kimley»Horn
 KIMLEY-HORN AND ASSOCIATES, INC.
 562 SOUTH ULSTER STREET, SUITE 1500
 DENVER, COLORADO 80222 (303) 226-2300

DESIGNED BY: JAC
 CHECKED BY: JAC
 DATE: 6/20/21

FACSIMILE
 This facsimile is a true and correct copy of the original drawing as submitted to the City of Aurora. It is not to be used for construction purposes. The original drawing is the only authoritative source for the project.

PROJECT NO. 221219
 DRAWING NO. 52
 SHEET NO. 12

K:\COPY_PlanSection\09050302 - Aurora ACC HO Picadilly Road\CADD\3 SHEETS\3-RC-4.dwg

APPROVED ON 07/12/2021

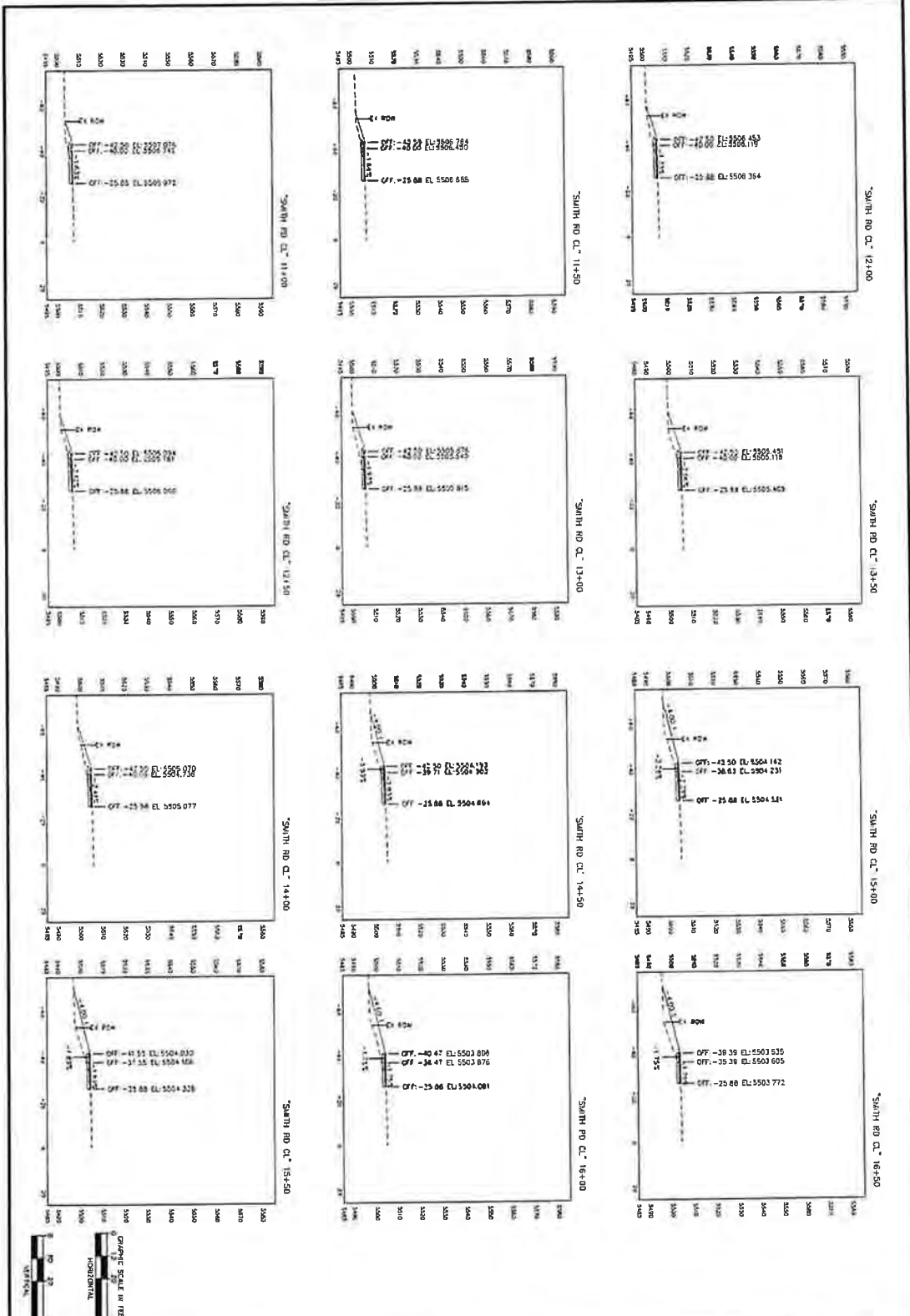


EXHIBIT C - NON DEFERRED IMPROVEMENTS
SHEET 13 OF 14

<p>REVISION</p> <p>NO. DESCRIPTION BY DATE</p>	<p>DATE</p>	<p>BY</p>	<p>DATE</p>

CITY OF AURORA
 AURORA COMMERCE CENTER SUBDIVISION FILING NO. 3
 PICADILLY ROAD IMPROVEMENTS
 CROSS SECTIONS

Kimley»Horn
 4582 SOUTH ILSTED STREET, SUITE 1000
 DENVER, COLORADO 80237 (303) 229-2300

PREPARED BY: JMC
CHECKED BY: BLP
DATE: 6/27/21

PROJECT NO: 22-0001-01
SHEET NO: 13 OF 14

GRAPHIC SCALE IN FEET
 HORIZONTAL
 VERTICAL

P:\06\Aurora\Aurora\Aurora - Aurora AZZ - Picadilly Road\DWG\CROSS SECTIONS

8.16.2014

APPROVED ON 07/12/2021

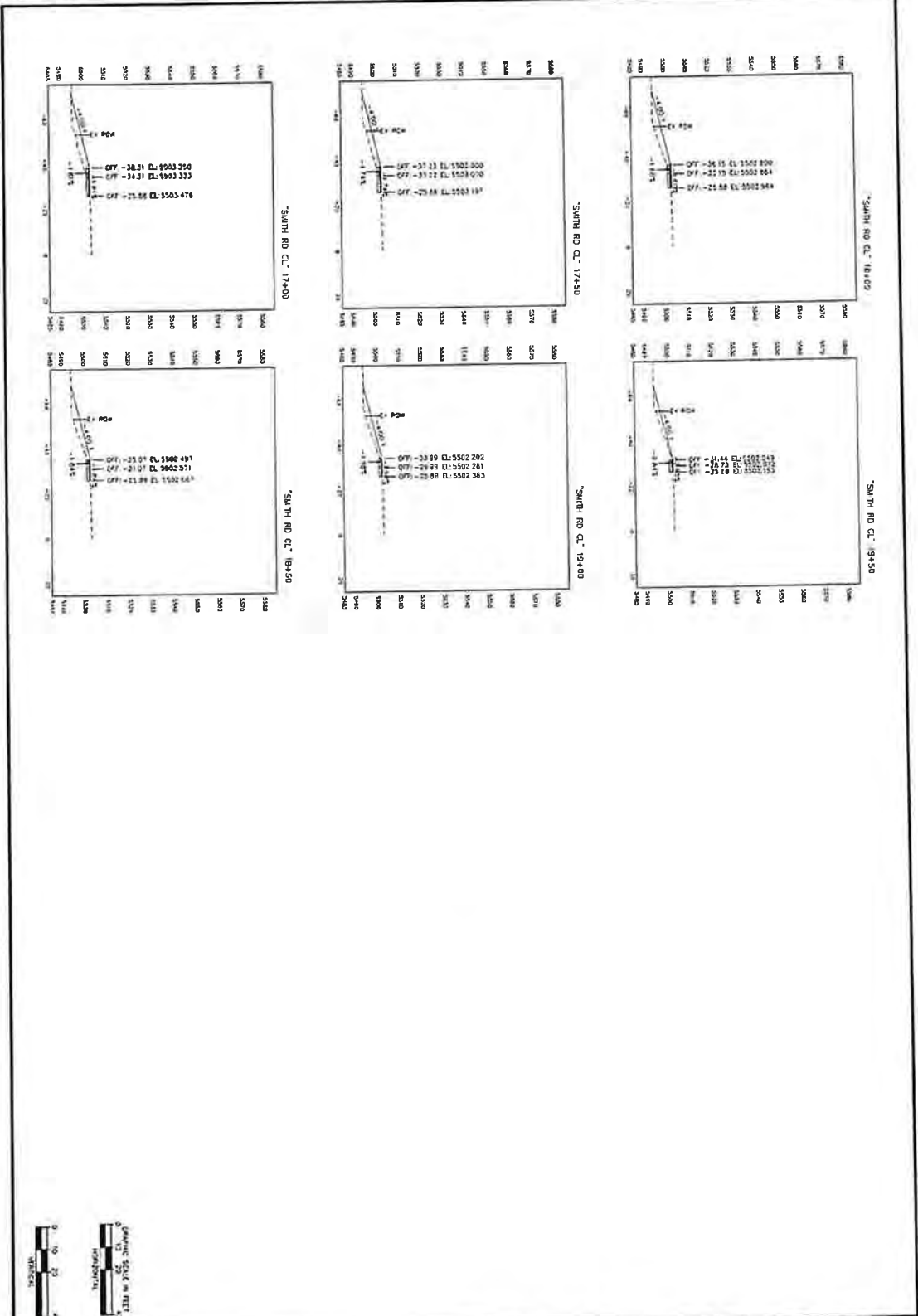


EXHIBIT C - NON DEFERRED IMPROVEMENTS
SHEET 14 OF 14

 FACSIMILE	CITY OF AURORA AURORA COMMERCE CENTER SUBDIVISION FILING NO. 3 PICADILLY ROAD IMPROVEMENTS CROSS SECTIONS	Kimley»Horn <small>KIMLEY-HORN AND ASSOCIATES, INC. 4582 SOUTH ULSTER STREET, SUITE 1500 DENVER, COLORADO 80237 (303) 733-3300</small>	NO.	DESIGN	BY	DATE

PUBLIC IMPROVEMENT DEFERRAL AGREEMENT
(STORM SEWER IMPROVEMENTS)

This Agreement, made this _____ day of August, 2022, by and between the ACC Metropolitan District, a quasi-municipal corporation and political subdivision of the State of Colorado, referred to as "**District**," and the City of Aurora, Colorado, a municipal corporation for the State of Colorado, hereinafter referred to as "**Aurora**" or the "**City**."

WITNESSETH:

WHEREAS, pursuant to the authority granted to the District by its Service Plan, as approved by the City Council of the City of Aurora on September 8, 2003, as it may be amended from time to time (the "**Service Plan**"), the District was formed, among other things, to provide for the design, construction and financing of public improvements to benefit properties within its boundaries, which include the Aurora Commerce Center, in the City of Aurora, County of Adams, State of Colorado.

WHEREAS, the Service Plan for the District contemplated that the District would be responsible for certain public improvements, including those storm sewer improvements as set forth on the construction plans attached hereto and incorporated herein as **Exhibit A** (the "**Deferred Improvements**"), which construction plans have been approved by the City;

WHEREAS, Deferred Improvements are all the improvements within the approved plans (COA EDN 221219), except those depicted within Exhibit A noted as "non-deferred construction".

WHEREAS, certain of the Deferred Improvements will also require approval and permits from the Union Pacific Railroad Company ("**UPRR**"), which UPRR permits and approvals have not yet been obtained;

WHEREAS, there are a number of improvements that constitute the complete construction of the public improvements (the "**Ultimate Build Improvements**") as contained within approved Civil Plans (EDN 221219), prepared by Kimley-Horn and Associates, Inc., including, but not limited to those Deferred Improvements set forth herein and certain other roadway improvements (the "**Roadway Improvements**") to be set forth in a separate deferral agreement (the "**Roadway deferral Agreement**") and "non-deferred", as defined in Exhibit A ("**Deferred Improvements**"), Exhibit B ("**Roadway Improvements**"), and Exhibit C ("**Non-Deferred Improvements**").

WHEREAS, at this time the City and other third-parties are not yet ready to commence construction of all portions of the **Ultimate Build Improvements** for a variety of reasons;

WHEREAS, the District has issued general obligation indebtedness that is to be repaid from the imposition of a mill levy and the ad valorem tax revenue generated there from;

WHEREAS, the District will benefit from the development of property within the District to create a tax base to repay the District's general obligation indebtedness;

WHEREAS, certain real property within the District is anticipated to be developed, namely: Aurora Commerce Center Subdivision Filing No 3, Lots 1 and 2 within Block 1 (the "**Property**");

WHEREAS, in connection with the development of the Property, the District has the obligation to complete the Deferred Improvements;

WHEREAS, the District has requested that the Property be allowed to develop and an Occupancy Permit from Aurora granted therefore without having installed the Deferred Improvements; and

WHEREAS, pursuant to City Code Section 146-5.3.19(b), the Director of Public Works has granted a deferral of the Deferred Improvements.

NOW, THEREFORE, in consideration of the foregoing premises and further consideration of Aurora deferring the installation of the Deferred Improvements, IT IS AGREED:

1. That Aurora shall issue the Occupancy Permit(s) requested.
2. That the District, for itself, its heirs, successors and assigns, agrees with Aurora that within six (6) months following the later to occur of: (a) the date the UPRR approvals/permits are obtained; and (b) the date upon which Aurora gives written notice by Certified Mail to the District, the District shall commence construction of the Deferred Improvements in accordance with this Agreement and the terms of that certain Storm Construction and Cost Reimbursement Agreement by and between the Parties (the "**Storm Reimbursement IGA**") and approved by Resolution of the City Council; or secure the same by a method of security as provided in Code Section 146-5.3.19(c), for the installation of the Deferred Improvements. Aurora may issue said notice at any time, including but not limited to, such time as the Director of Public Works determines that additional public improvement construction is to occur adjacent to or near the above-described Property. Furthermore, within thirty (30) days following the date Aurora delivers written notice to the District to commence construction of the Deferred Improvements, the District shall obtain a performance bond naming Aurora as the beneficiary thereof.
3. Failure of the District to respond and comply (as defined in City Code Section 146-5.3.19(b) with the notice given by Aurora to commence construction of the public improvements or provide security for the installation of the Deferred Improvements shall constitute the District's consent to Aurora's pursuit of one or more of the following remedies:
 - A. Application of the funds which are payable or due the City to the construction of said public improvements or institute suit in any court of competent jurisdiction to obtain the amount which may be due and owing to it either on any method of security or for breach of contract or such other remedy as may be appropriate.
 - B. Draw on any security provided by the District.
4. In the event the City creates a special improvement district for the construction of the said public improvements with Aurora, the District, for itself, its heirs, successors, and assigns, agrees this Agreement shall constitute District's consent to and petition for the creation of a special improvement district by Aurora for the construction of the public improvements required by the above-referenced Covenant. The Property shall be assessed for the costs of

construction, engineering, and incidentals in conjunction with the creation of said improvement district. Said costs shall represent the special benefits accruing to the Property due to the construction of said public improvements. The assessment of said costs shall constitute a lien against the Property described herein until fully paid.

5. The City agrees that it will authorize an approval extension of the expiration of the currently approved civil plans (EDN 221219) for a period of five (5) years following the date hereof. The City reserves the right to request revision, prior to issuance of Public Improvement Permit, to approved civil plans if the City's code and criteria have been updated, and the updates impact public health and safety.
6. This Agreement shall be recorded with the Clerk and Recorder of Adams County, and shall run with the land, and shall be binding upon and inure to the benefit of the heirs, successors, and assignees of the parties hereto.

IN WITNESS WHEREOF, the Parties have caused their names to be hereunto subscribed this _____ day of _____, 20__.

DISTRICT:

ACC METROPOLITAN DISTRICT, a quasi-municipal corporation and political subdivision of the State of Colorado

By: _____

Title: _____

STATE OF COLORADO)
) ss.
County of)

The foregoing Agreement was acknowledged before me this _____ day of _____, 20__, by _____ as President of the ACC Metropolitan District, a quasi-municipal corporation and political subdivision of the State of Colorado.

Witness my hand and official seal.

Notary Public

My Commission expires: _____

CITY OF AURORA:

Director of Public Works

Approved as to form

Reviewed by City Engineer

Reviewed by Aurora Water

Reviewed by Real Property

EXHIBIT A

Deferred Roadway Improvements

CITY OF AURORA

AURORA COMMERCE CENTER SUBDIVISION FILING NO. 3 PICADILLY ROAD AND SMITH ROAD IMPROVEMENTS - SMITH ROAD TO 32ND PARKWAY ADAMS COUNTY, CITY OF AURORA, COLORADO

- CITY OF AURORA GENERAL NOTES**
- 201501: ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF AURORA GENERAL ORDINANCES AND SPECIFICATIONS FOR PUBLIC UTILITIES AND TRAVELWAYS.
 - 201502: ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF AURORA GENERAL ORDINANCES AND SPECIFICATIONS FOR PUBLIC UTILITIES AND TRAVELWAYS.
 - 201503: ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF AURORA GENERAL ORDINANCES AND SPECIFICATIONS FOR PUBLIC UTILITIES AND TRAVELWAYS.
 - 201504: ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF AURORA GENERAL ORDINANCES AND SPECIFICATIONS FOR PUBLIC UTILITIES AND TRAVELWAYS.
 - 201505: ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF AURORA GENERAL ORDINANCES AND SPECIFICATIONS FOR PUBLIC UTILITIES AND TRAVELWAYS.
 - 201506: ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF AURORA GENERAL ORDINANCES AND SPECIFICATIONS FOR PUBLIC UTILITIES AND TRAVELWAYS.
 - 201507: ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF AURORA GENERAL ORDINANCES AND SPECIFICATIONS FOR PUBLIC UTILITIES AND TRAVELWAYS.
 - 201508: ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF AURORA GENERAL ORDINANCES AND SPECIFICATIONS FOR PUBLIC UTILITIES AND TRAVELWAYS.
 - 201509: ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF AURORA GENERAL ORDINANCES AND SPECIFICATIONS FOR PUBLIC UTILITIES AND TRAVELWAYS.
 - 201510: ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF AURORA GENERAL ORDINANCES AND SPECIFICATIONS FOR PUBLIC UTILITIES AND TRAVELWAYS.
 - 201511: ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF AURORA GENERAL ORDINANCES AND SPECIFICATIONS FOR PUBLIC UTILITIES AND TRAVELWAYS.
 - 201512: ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF AURORA GENERAL ORDINANCES AND SPECIFICATIONS FOR PUBLIC UTILITIES AND TRAVELWAYS.
 - 201513: ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF AURORA GENERAL ORDINANCES AND SPECIFICATIONS FOR PUBLIC UTILITIES AND TRAVELWAYS.
 - 201514: ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF AURORA GENERAL ORDINANCES AND SPECIFICATIONS FOR PUBLIC UTILITIES AND TRAVELWAYS.
 - 201515: ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF AURORA GENERAL ORDINANCES AND SPECIFICATIONS FOR PUBLIC UTILITIES AND TRAVELWAYS.
 - 201516: ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF AURORA GENERAL ORDINANCES AND SPECIFICATIONS FOR PUBLIC UTILITIES AND TRAVELWAYS.
 - 201517: ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF AURORA GENERAL ORDINANCES AND SPECIFICATIONS FOR PUBLIC UTILITIES AND TRAVELWAYS.
 - 201518: ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF AURORA GENERAL ORDINANCES AND SPECIFICATIONS FOR PUBLIC UTILITIES AND TRAVELWAYS.
 - 201519: ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF AURORA GENERAL ORDINANCES AND SPECIFICATIONS FOR PUBLIC UTILITIES AND TRAVELWAYS.
 - 201520: ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF AURORA GENERAL ORDINANCES AND SPECIFICATIONS FOR PUBLIC UTILITIES AND TRAVELWAYS.
 - 201521: ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF AURORA GENERAL ORDINANCES AND SPECIFICATIONS FOR PUBLIC UTILITIES AND TRAVELWAYS.
 - 201522: ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF AURORA GENERAL ORDINANCES AND SPECIFICATIONS FOR PUBLIC UTILITIES AND TRAVELWAYS.



NOTE: THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE CITY OF AURORA AND ADAMS COUNTY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE CITY OF AURORA AND ADAMS COUNTY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE CITY OF AURORA AND ADAMS COUNTY.

SHEET NUMBER	SHEET DESCRIPTION
1	GENERAL NOTES
2	CONSTRUCTION SPECIFICATIONS
3	CONSTRUCTION SPECIFICATIONS
4	CONSTRUCTION SPECIFICATIONS
5	CONSTRUCTION SPECIFICATIONS
6	CONSTRUCTION SPECIFICATIONS
7	CONSTRUCTION SPECIFICATIONS
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59	CONSTRUCTION SPECIFICATIONS
60	CONSTRUCTION SPECIFICATIONS

Kimley Horn
 CONSULTING ENGINEERS
 1000 N. WASHINGTON ST., SUITE 200
 DENVER, CO 80202
 TEL: 303.733.1234
 FAX: 303.733.1235
 WWW.KIMLEYHORN.COM

REVISIONS:

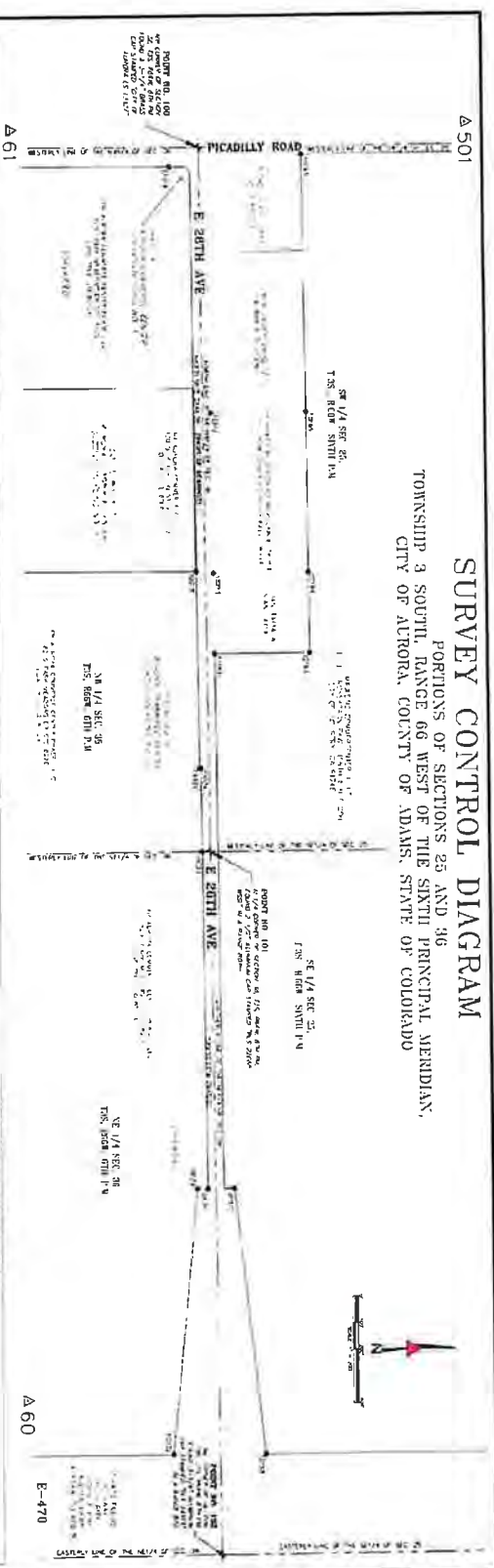
NO.	REVISION	DATE

PROJECT: AURORA COMMERCE CENTER SUBDIVISION FILING NO. 3
DATE: 07/11/2021
SCALE: 1" = 100'
PROJECT NO.: 17-0001
SHEET NO.: 1 OF 48

APPROVED ON 07/11/2021

EXHIBIT A - DEFERRED ROADWAY IMPROVEMENTS

SHEET 1 OF 48



GEOMETRIC COORDINATE SUMMARY TABLE				PROJECTIONS COORDINATE SUMMARY TABLE			
Point No.	Stationing	Elevation	Remarks	Point No.	Stationing	Elevation	Remarks
1	100+00.00	1111.11	Station 100+00.00	1	100+00.00	1111.11	Station 100+00.00
2	100+10.00	1111.11	Station 100+10.00	2	100+10.00	1111.11	Station 100+10.00
...
100	100+00.00	1111.11	Station 100+00.00	100	100+00.00	1111.11	Station 100+00.00
101	100+10.00	1111.11	Station 100+10.00	101	100+10.00	1111.11	Station 100+10.00
102	100+20.00	1111.11	Station 100+20.00	102	100+20.00	1111.11	Station 100+20.00
103	100+30.00	1111.11	Station 100+30.00	103	100+30.00	1111.11	Station 100+30.00
104	100+40.00	1111.11	Station 100+40.00	104	100+40.00	1111.11	Station 100+40.00
105	100+50.00	1111.11	Station 100+50.00	105	100+50.00	1111.11	Station 100+50.00
106	100+60.00	1111.11	Station 100+60.00	106	100+60.00	1111.11	Station 100+60.00
107	100+70.00	1111.11	Station 100+70.00	107	100+70.00	1111.11	Station 100+70.00
108	100+80.00	1111.11	Station 100+80.00	108	100+80.00	1111.11	Station 100+80.00
109	100+90.00	1111.11	Station 100+90.00	109	100+90.00	1111.11	Station 100+90.00
110	100+00.00	1111.11	Station 100+00.00	110	100+00.00	1111.11	Station 100+00.00

GENERAL NOTES:

1. All points shown herein are for reference only. No warranty is made by the City of Aurora for the accuracy of these points.
2. All points shown herein are for reference only. No warranty is made by the City of Aurora for the accuracy of these points.
3. All points shown herein are for reference only. No warranty is made by the City of Aurora for the accuracy of these points.
4. All points shown herein are for reference only. No warranty is made by the City of Aurora for the accuracy of these points.
5. All points shown herein are for reference only. No warranty is made by the City of Aurora for the accuracy of these points.
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9. All points shown herein are for reference only. No warranty is made by the City of Aurora for the accuracy of these points.
10. All points shown herein are for reference only. No warranty is made by the City of Aurora for the accuracy of these points.

LEGEND:

- ▲ Center Point
- + Stationing Corner
- Stationing Corner

STATIONING CORRECTIONS:

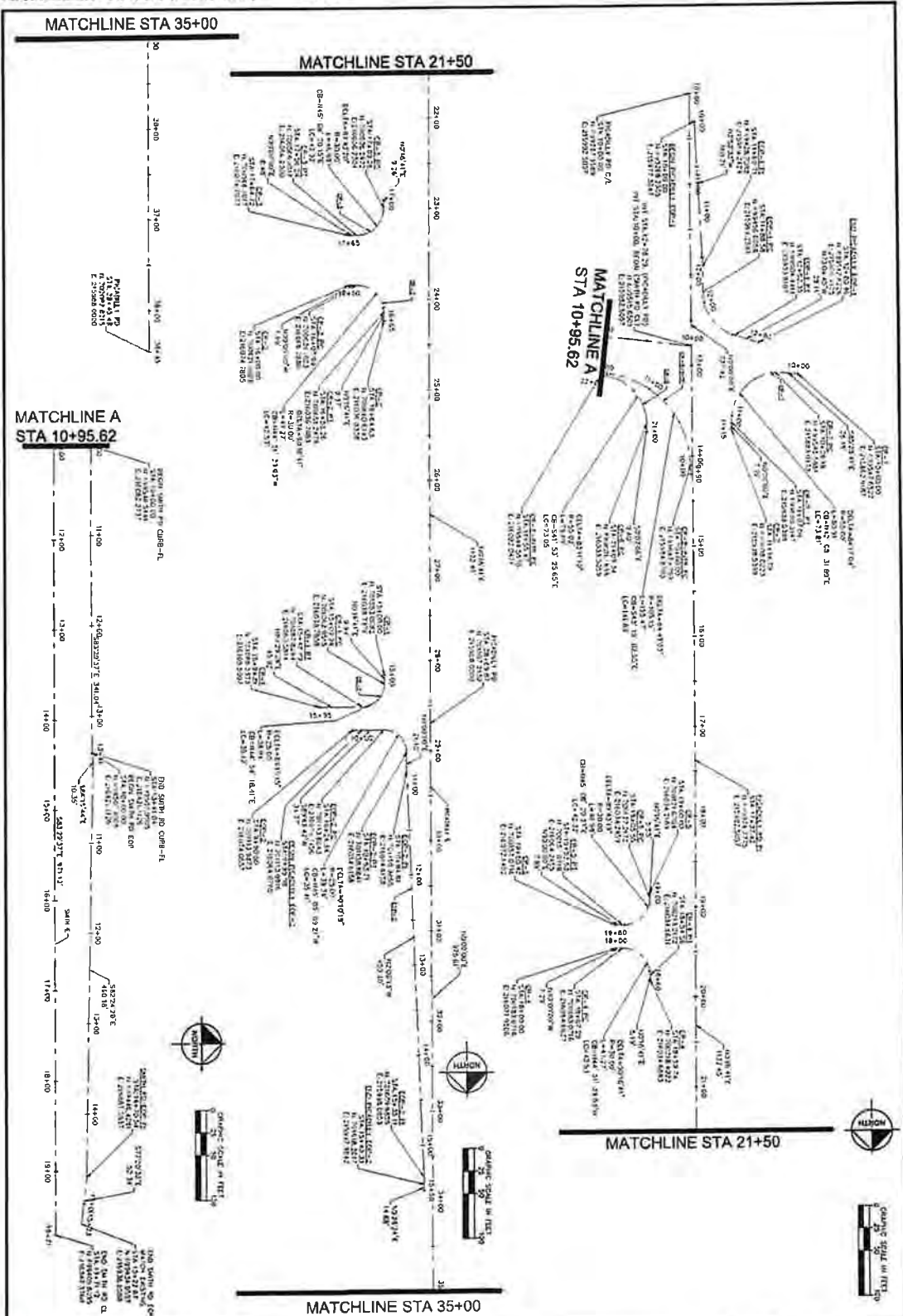
DATE OF SURVEY: 07/12/2021

APPROVED ON: 07/12/2021

EXHIBIT A - DEFERRED ROADWAY IMPROVEMENTS
SHEET 3 OF 48

CITY OF AURORA
AURORA COMMERCE CENTER SUBDIVISION FILING NO. 3
PICADILLY ROAD IMPROVEMENTS
SURVEY CONTROL DIAGRAM

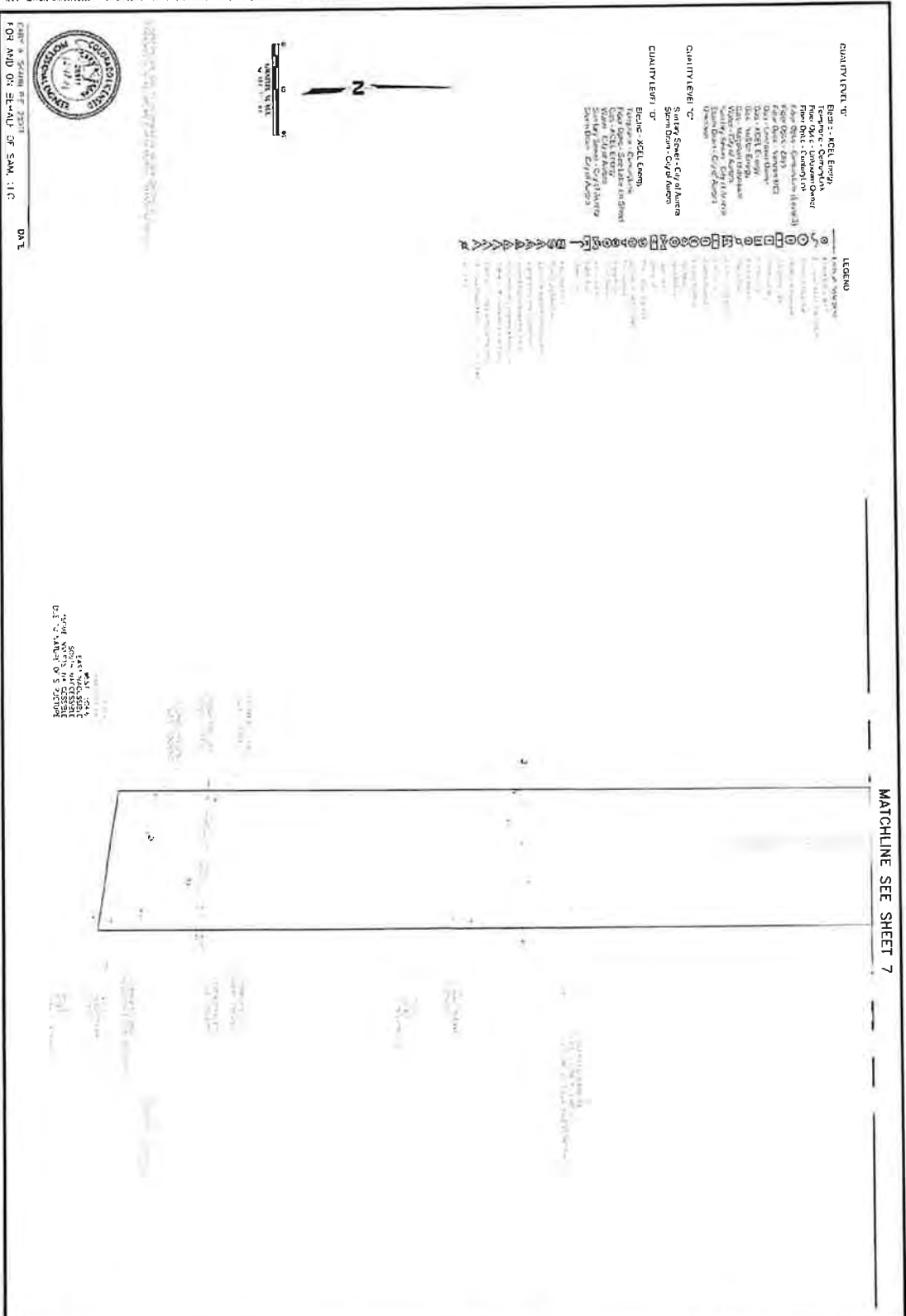
Kimley Horn
 Kimley-Horn and Associates, Inc.
 1562 SOUTH GLENN STREET, SUITE 1500
 DENVER, COLORADO 80202
 PHONE: (303) 733-7272
 FAX: (303) 733-7273
 DATE: 6/10/21



APPROVED ON 07/11/2021

EXHIBIT A - DEFERRED ROADWAY IMPROVEMENTS
SHEET 4 OF 48

<p>CITY OF AURORA AURORA COMMERCE CENTER SUBDIVISION FILING NO. 3 PICADILLY ROAD IMPROVEMENTS HORIZONTAL CONTROL</p>	<p>Kimley»Horn</p> <p>ENGINEER BY: JBC CHECKED BY: CMB DATE: 5/10/21</p>	<p>NO. _____</p> <p>REVISION _____</p> <p>BY _____</p> <p>DATE _____</p>	
---	---	--	--



MATCHLINE SEE SHEET 7

- QUANTITY LIST '0'
- Electric - 400V Single Phase
 - Electric - 208V Single Phase
 - Electric - 277V Single Phase
 - Electric - 480V Three Phase
 - Gas - 4" Cast Iron
 - Gas - 6" Cast Iron
 - Gas - 8" Cast Iron
 - Gas - 12" Cast Iron
 - Gas - 18" Cast Iron
 - Gas - 24" Cast Iron
 - Water - 4" Galvanized
 - Water - 6" Galvanized
 - Water - 8" Galvanized
 - Water - 12" Galvanized
 - Water - 18" Galvanized
 - Water - 24" Galvanized
 - Storm Sewer - 18" Concrete
 - Storm Sewer - 24" Concrete
 - Storm Sewer - 30" Concrete
 - Storm Sewer - 36" Concrete
 - Storm Sewer - 42" Concrete
 - Storm Sewer - 48" Concrete
 - Storm Sewer - 54" Concrete
 - Storm Sewer - 60" Concrete

- LEGEND
- 1" dia. 1/8" wall galvanized steel pipe
 - 2" dia. 1/8" wall galvanized steel pipe
 - 3" dia. 1/8" wall galvanized steel pipe
 - 4" dia. 1/8" wall galvanized steel pipe
 - 6" dia. 1/8" wall galvanized steel pipe
 - 8" dia. 1/8" wall galvanized steel pipe
 - 12" dia. 1/8" wall galvanized steel pipe
 - 18" dia. 1/8" wall galvanized steel pipe
 - 24" dia. 1/8" wall galvanized steel pipe
 - 30" dia. 1/8" wall galvanized steel pipe
 - 36" dia. 1/8" wall galvanized steel pipe
 - 42" dia. 1/8" wall galvanized steel pipe
 - 48" dia. 1/8" wall galvanized steel pipe
 - 54" dia. 1/8" wall galvanized steel pipe
 - 60" dia. 1/8" wall galvanized steel pipe
 - 18" dia. 1/8" wall galvanized steel pipe
 - 24" dia. 1/8" wall galvanized steel pipe
 - 30" dia. 1/8" wall galvanized steel pipe
 - 36" dia. 1/8" wall galvanized steel pipe
 - 42" dia. 1/8" wall galvanized steel pipe
 - 48" dia. 1/8" wall galvanized steel pipe
 - 54" dia. 1/8" wall galvanized steel pipe
 - 60" dia. 1/8" wall galvanized steel pipe



PREPARED BY: [Name Redacted]
 FOR AND ON BEHALF OF: [Name Redacted], I.C.

APPROVED ON 07/12/2021

EXHIBIT A - DEFERRED ROADWAY IMPROVEMENTS
SHEET 6 OF 48

CITY OF AURORA
AURORA COMMERCE CENTER SUBDIVISION FILING NO. 3
PICADILLY ROAD IMPROVEMENTS
SUBSURFACE UTILITY ENGINEERING

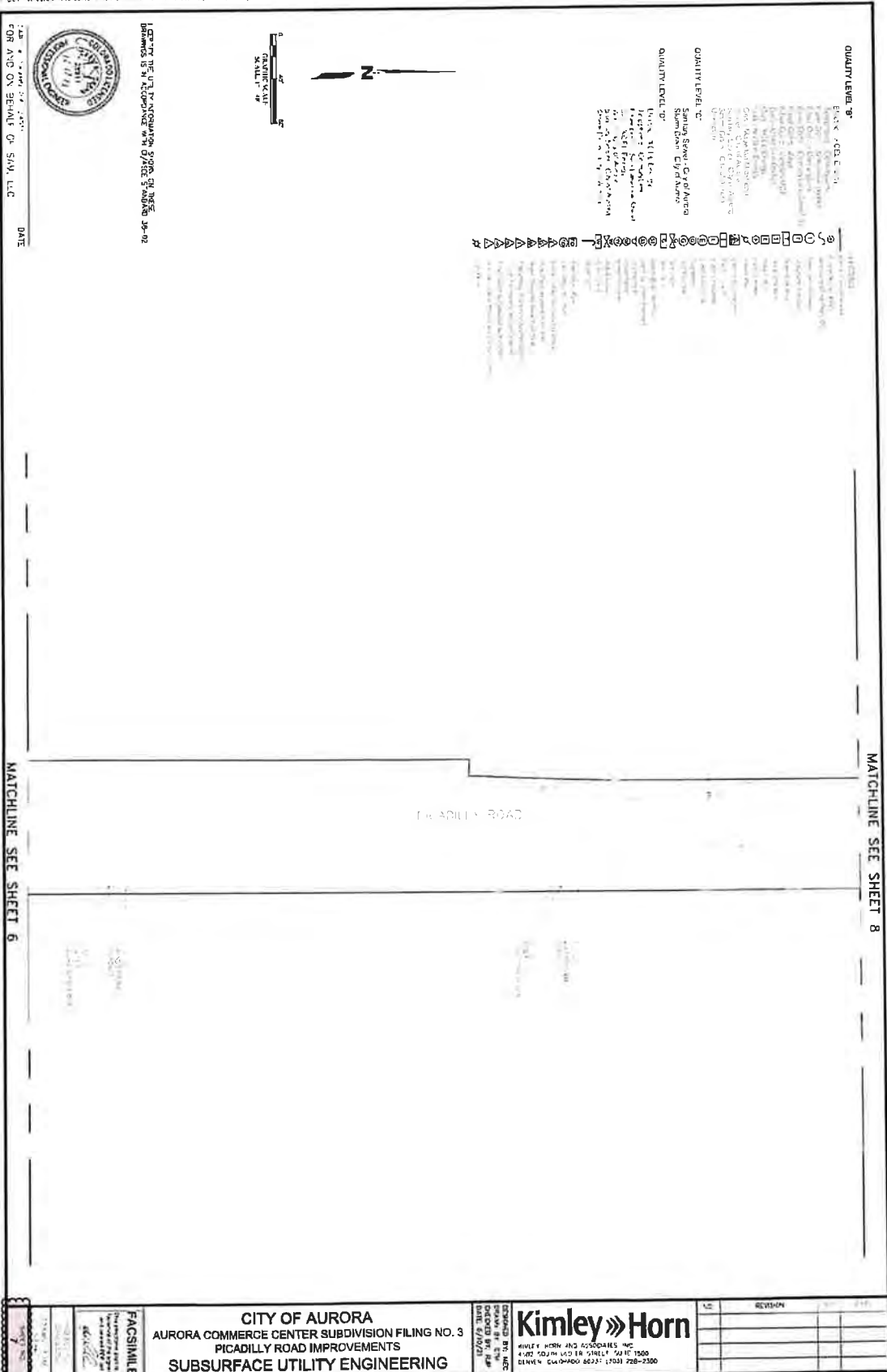
Kimley»Horn

18000 N. PARKWAY, SUITE 100, AURORA, IL 60504
 PH: 630-351-4000 FAX: 630-351-4001
 WWW.KIMLEYHORN.COM

DATE: 6/15/21

REVISIONS

NO.	DESCRIPTION	DATE



I CERTIFY THE U.T.I. INFORMATION SHOWN ON THESE DRAWINGS IS IN ACCORDANCE WITH THE STANDARD JEP-02

DATE: 07/12/2021
 FOR AND ON BEHALF OF: S.M.V. LLC

APPROVED ON 07/12/2021

MATCHLINE SEE SHEET 8

MATCHLINE SEE SHEET 6

PICADILLY ROAD

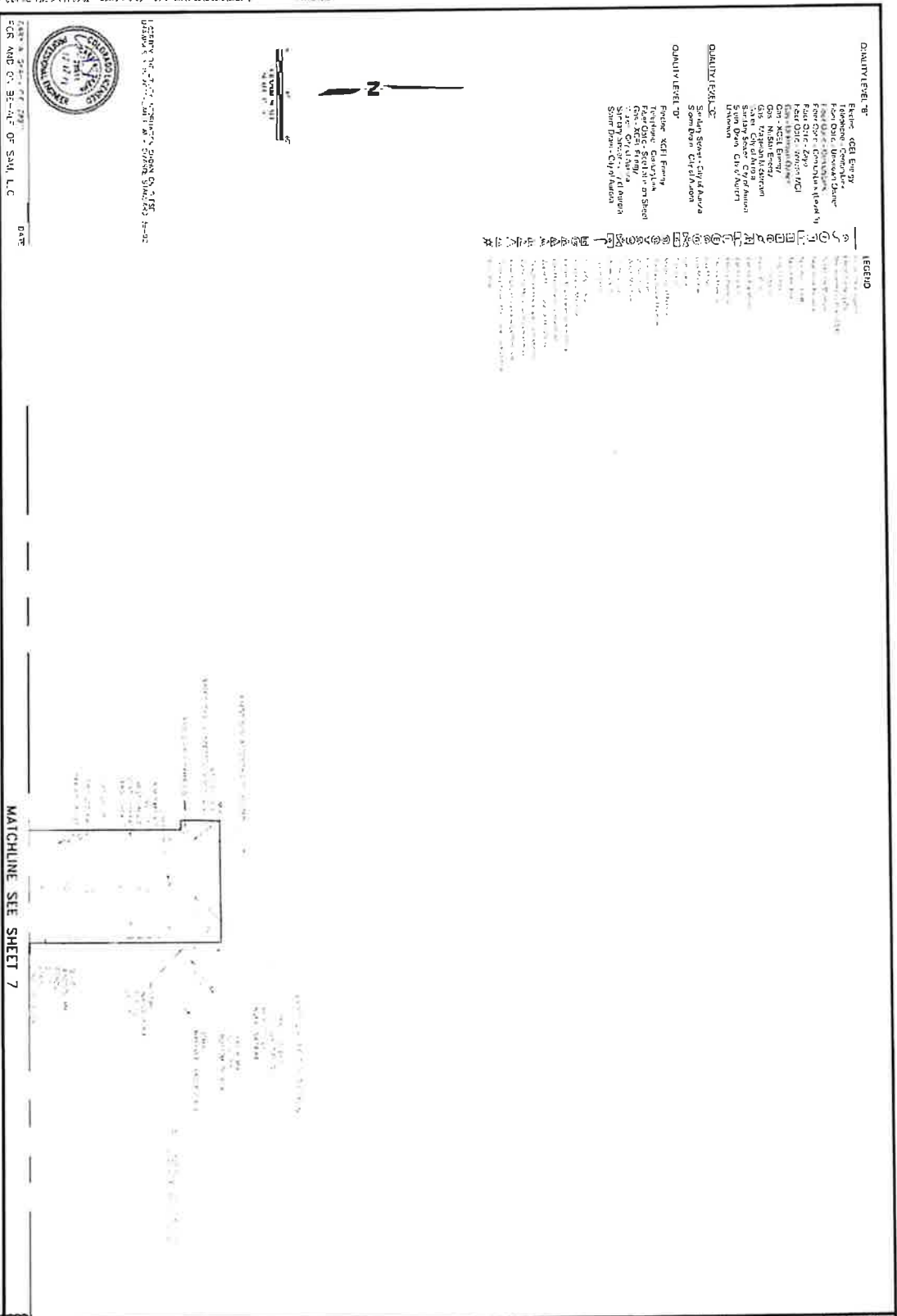
EXHIBIT A - DEFERRED ROADWAY IMPROVEMENTS
SHEET 7 OF 48

CITY OF AURORA
AURORA COMMERCE CENTER SUBDIVISION FILING NO. 3
PICADILLY ROAD IMPROVEMENTS
SUBSURFACE UTILITY ENGINEERING

Kimley»Horn
 KIMLEY HORN AND ASSOCIATES, INC.
 4105 SOUTH MICHIGAN STREET, SUITE 1000
 DENVER, COLORADO 80231 | 303.726.2300

NO.	REVISION	DATE

FACSIMILE
 This drawing is a facsimile reproduction of the original drawing. It is not to be used for construction purposes unless it is accompanied by the original drawing.



DATE: 07/11/2021
 DRAWN BY: [Name]
 CHECKED BY: [Name]
 PROJECT: AURORA COMMERCE CENTER SUBDIVISION FILING NO. 3
 SHEET NO. 8

APPROVED ON 07/11/2021

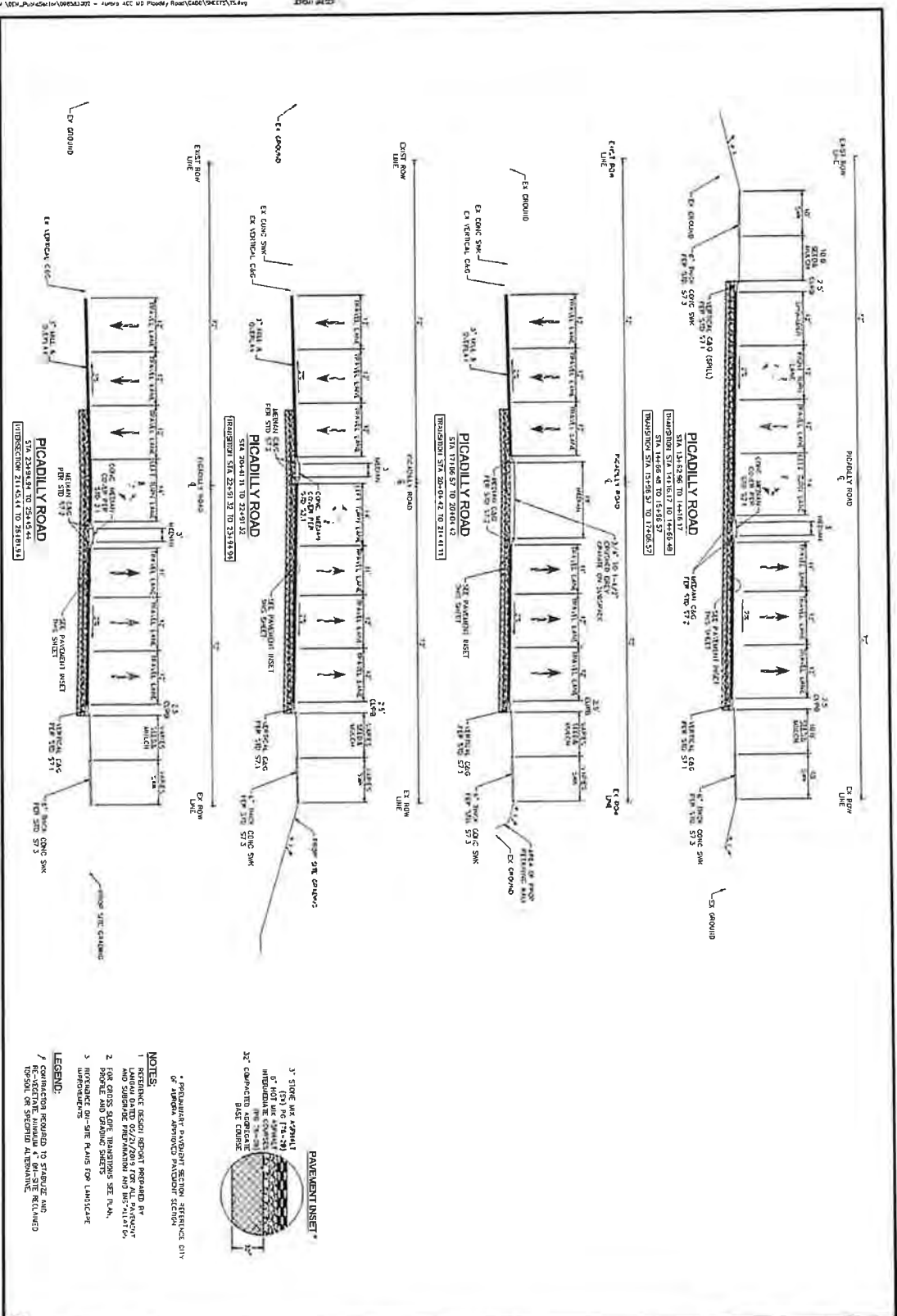
EXHIBIT A - DEFERRED ROADWAY IMPROVEMENTS
SHEET 8 OF 48

NO.	REVISION	BY	DATE

CITY OF AURORA
 AURORA COMMERCE CENTER SUBDIVISION FILING NO. 3
 PICADILLY ROAD IMPROVEMENTS
 SUBSURFACE UTILITY ENGINEERING

Kimley Horn

DESIGNED BY: [Name]
 CHECKED BY: [Name]
 DATE: 8/10/21

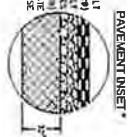


APPROVED ON 07/12/2021

EXHIBIT A - DEFERRED ROADWAY IMPROVEMENTS
SHEET 9 OF 48

	<p>CITY OF AURORA AURORA COMMERCE CENTER SUBDIVISION FILING NO. 3 PICADILLY ROAD IMPROVEMENTS TYPICAL SECTION</p>	<p>Kimley Horn KIMLEY-HORN AND ASSOCIATES, INC. 4552 SOUTH HUNTER STREET, SUITE 200 CHARLOTTE, NC 28209-3300 TEL: 704.366.4500 FAX: 704.366.4500</p>	<table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <th style="width: 10%;">NO.</th> <th style="width: 40%;">REVISION</th> <th style="width: 10%;">BY</th> <th style="width: 40%;">DATE</th> </tr> <tr> <td> </td> <td> </td> <td> </td> <td> </td> </tr> </table>	NO.	REVISION	BY	DATE				
NO.	REVISION	BY	DATE								

- NOTES:**
1. RETAINMENT DESIGN SUBJECT PREPARED BY CONSULTING ENGINEER AND SHALL BE IN ACCORDANCE WITH THE CITY OF AURORA SPECIFICATIONS AND THE STATE OF NORTH CAROLINA SPECIFICATIONS.
 2. FOR CROSS SECTION TRANSVERSALS SEE PLAN SHEETS AND GRADING SHEETS.
 3. RETAINMENT DESIGN PLANS FOR LANDSCAPE ARCHITECTURE.
- LEGEND:**
- 1/ CONTRACTOR REQUIRED TO STABILIZE AND RE-CONSTRUCT EXISTING 4" DI-STE RECLAIMED TOPSOIL OR SPECIFIED ALTERNATIVE.

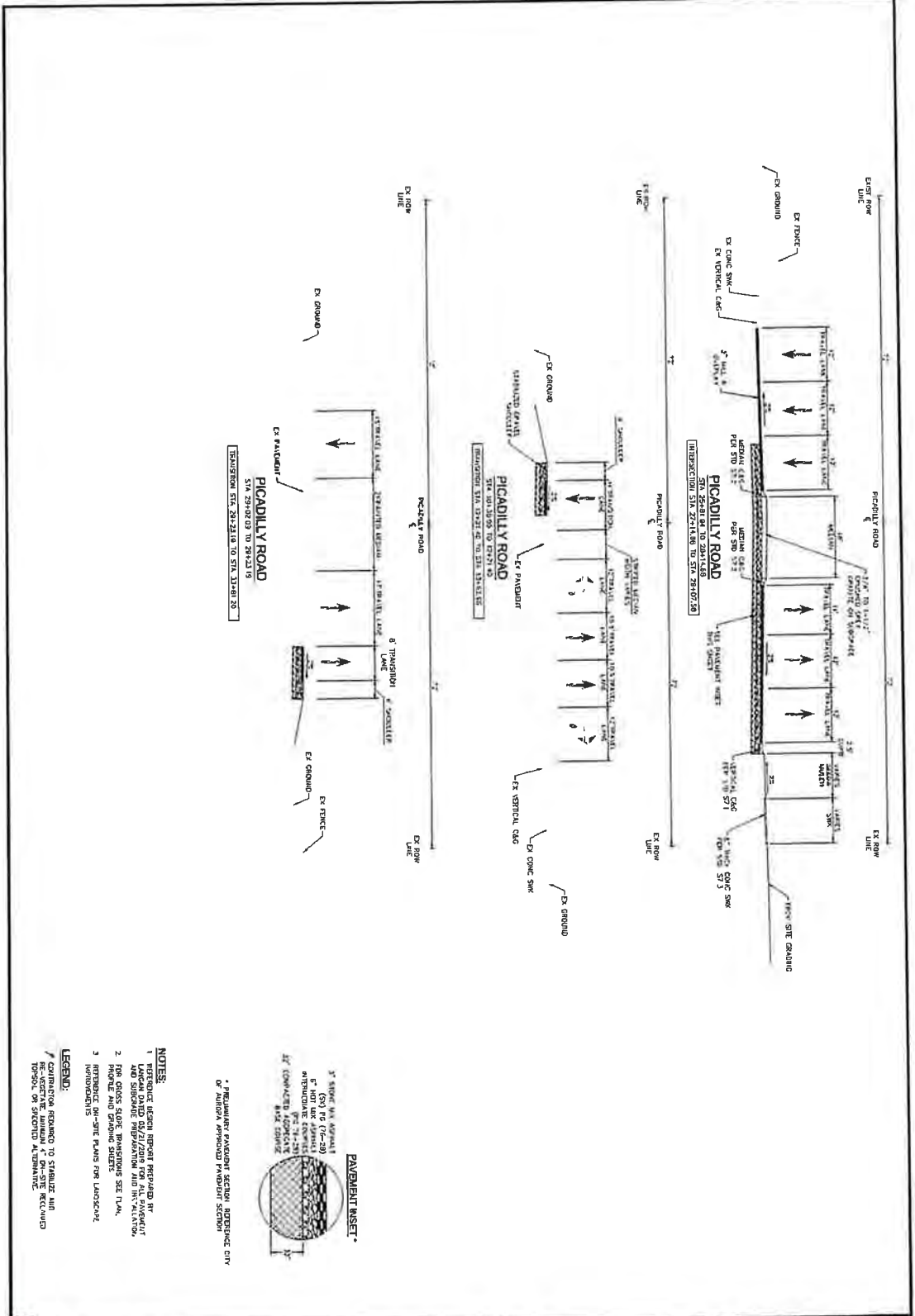


REVISIONS:

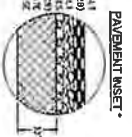
NO.	REVISION	BY	DATE

K:\2008_Productions\195585301 - Aurora ACI HO Roadway Improvements\Drawings\10

APPROVED ON 07/12/2021



- NOTES:**
1. REFERENCE USDA REPORT PREPARED BY THE AURORA COMMERCIAL CENTER SUBDIVISION AND SUBDIVISION PREPARATION AND INSTALLATION.
 2. FOR CROSS SLOPE, TRANSFORM SEE PLAN, PROFILE AND GRADING SHEETS.
 3. REFERENCE ON-SITE PLANS FOR LANDSCAPE IMPROVEMENTS.
- LEGEND:**
- ✓ CONTRACTOR REQUIRED TO STABILIZE AND RE-VEGETATE ADJACENT ON-SITE RECLAIMED TOPSOIL OR SLOPED ADJACENT.



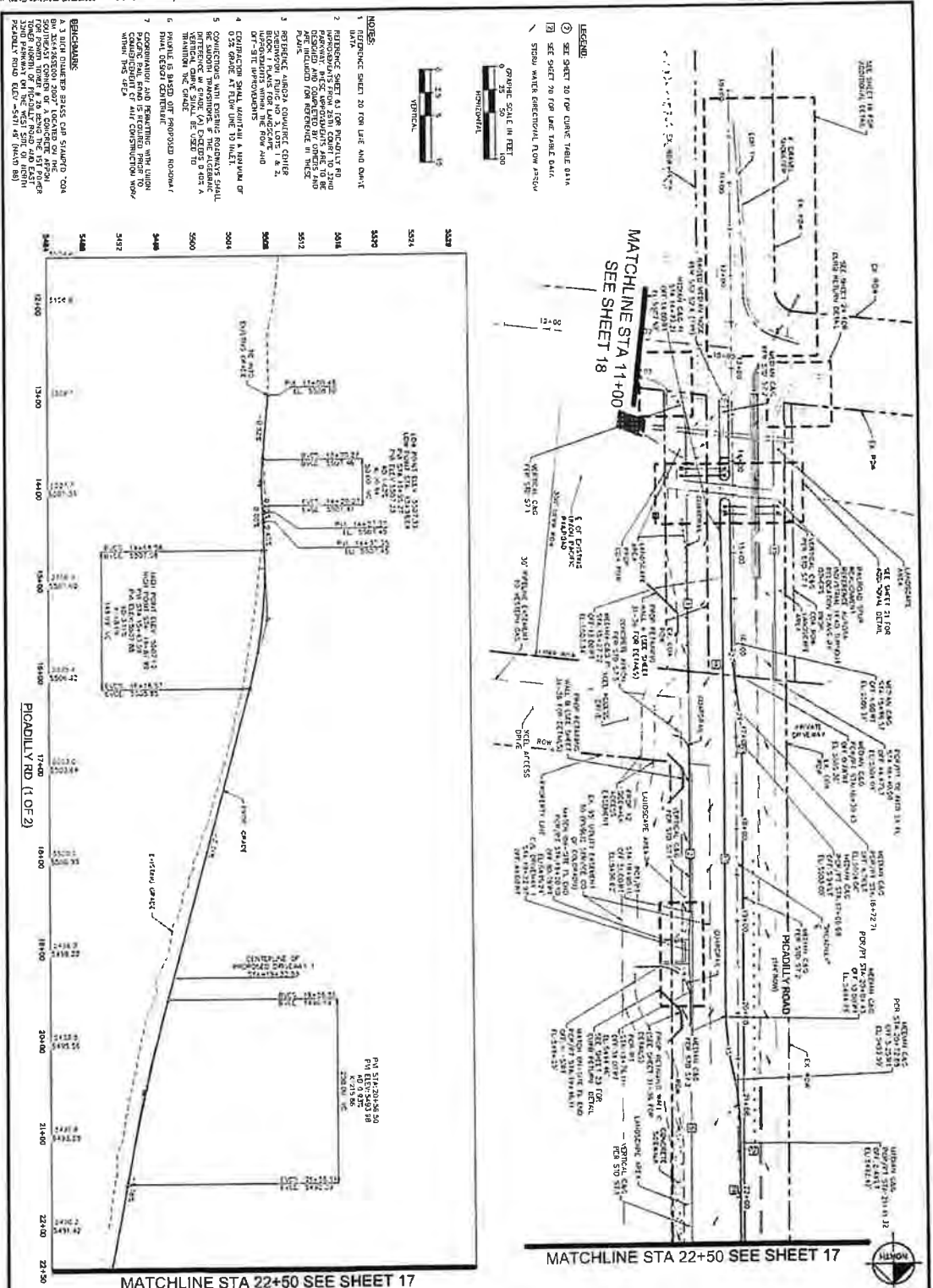
* PRELIMINARY PAVEMENT SECTION APPROXIMATE CITY OF AURORA APPROVED PAVEMENT SECTION

EXHIBIT A - DEFERRED ROADWAY IMPROVEMENTS
SHEET 10 OF 48

REVISION	DATE

CITY OF AURORA
 AURORA COMMERCIAL CENTER SUBDIVISION FILING NO. 3
 PICADILLY ROAD IMPROVEMENTS
 TYPICAL SECTION

Kimley»Horn
 KIMLEY-HORN AND ASSOCIATES, INC.
 4361 SOUTH WILSTER STREET, SUITE 1500
 DENVER, COLORADO 80237 (303) 736-2100



APPROVED ON 07/12/2021

EXHIBIT A - DEFERRED ROADWAY IMPROVEMENTS
SHEET 11 OF 48

Kimley Horn
CITY OF AURORA
AURORA COMMERCE CENTER SUBDIVISION FILING NO. 3
PICCADILLY ROAD IMPROVEMENTS
PLAN AND PROFILE

DESIGNED BY: JAC
CHECKED BY: JAC
DATE: 07/12/2021

Kimley Horn
4400 N. 11th St., Suite 100
Minnetonka, MN 55345
TEL: 763.535.1111 FAX: 763.535.1112
WWW.KIMLEYHORN.COM

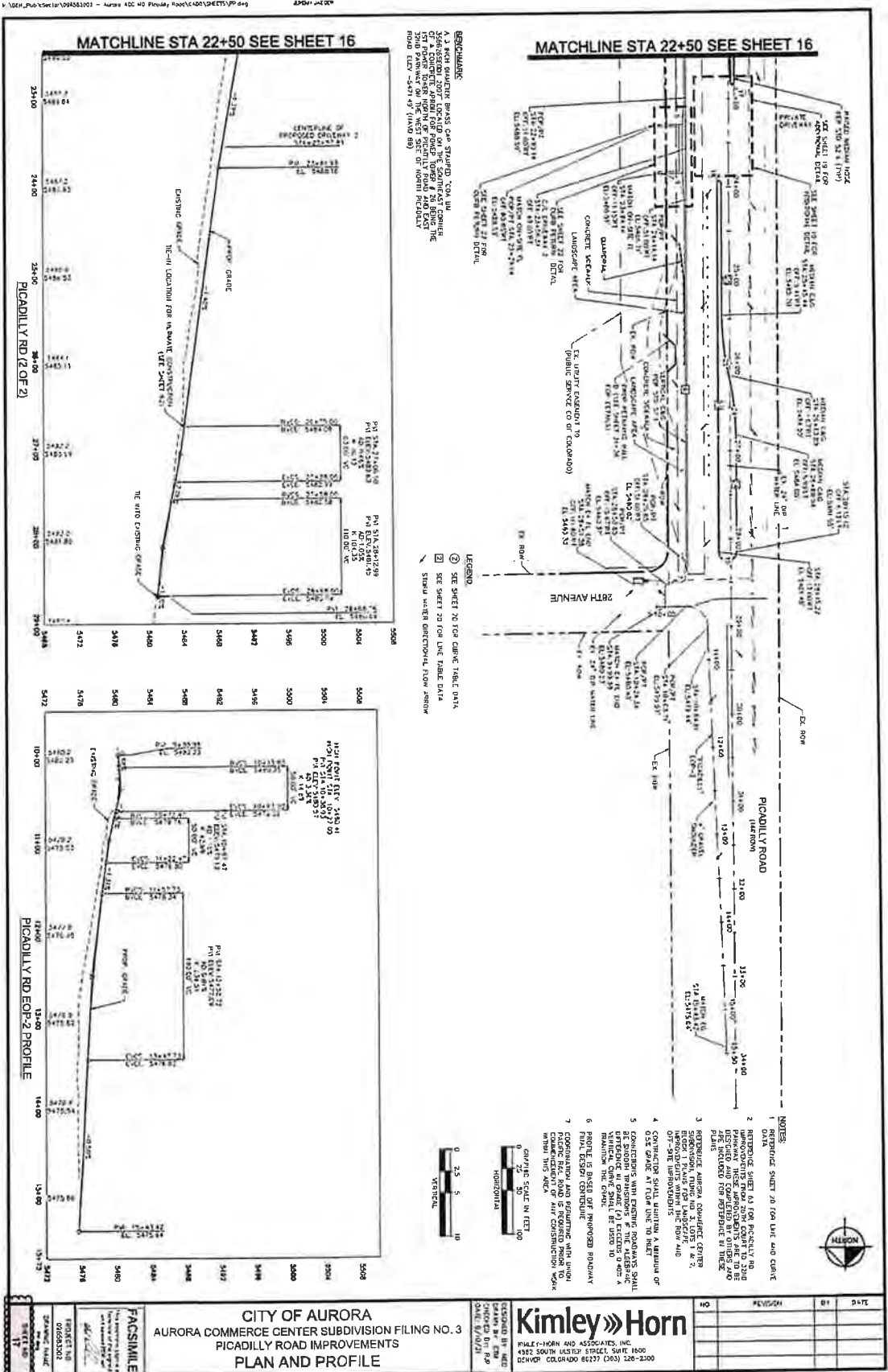
CITY OF AURORA
AURORA COMMERCE CENTER SUBDIVISION FILING NO. 3
PICCADILLY ROAD IMPROVEMENTS
PLAN AND PROFILE

PROJECT NO.:
DATE: 07/12/2021

PROJECT NO.:
DATE: 07/12/2021

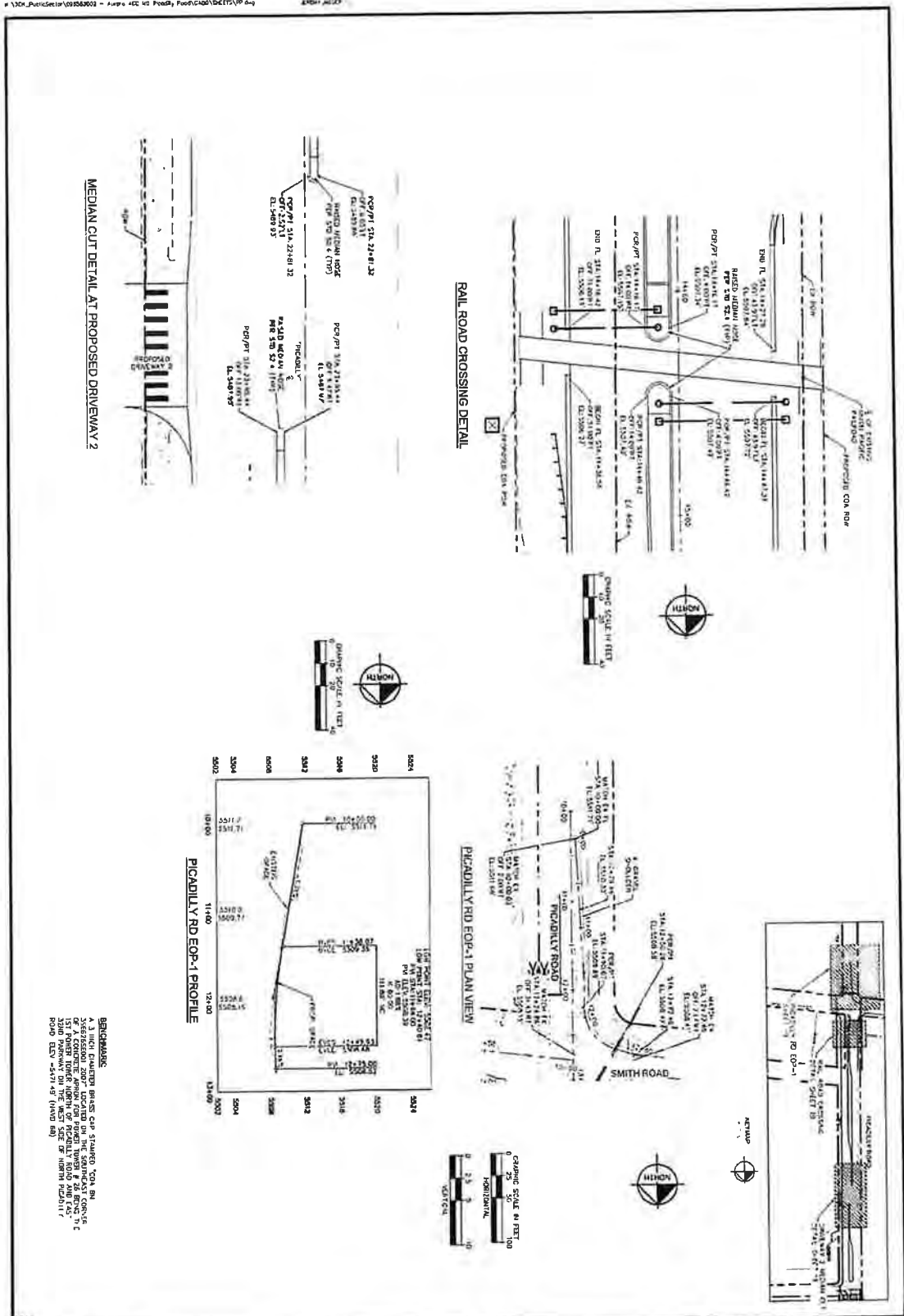
PROJECT NO.:
DATE: 07/12/2021

PROJECT NO.:
DATE: 07/12/2021



APPROVED ON 07/11/2021

EXHIBIT A - DEFERRED ROADWAY IMPROVEMENTS SHEET 12 OF 48



APPROVED ON 07/12/2021

EXHIBIT A - DEFERRED ROADWAY IMPROVEMENTS

SHEET 13 OF 48

	<p>CITY OF AURORA AURORA COMMERCE CENTER SUBDIVISION FILING NO. 3 PICADILLY ROAD IMPROVEMENTS MEDIAN DETAILS</p>	<p>Kimley-Horn</p> <p><small>KIMLEY-HORN AND ASSOCIATES, INC. 5000 SOUTH GARDEN STREET, SUITE 100 DENVER, COLORADO 80237 (303) 728-2300</small></p>	<p>DATE: 07/12/21 DRAWN BY: [Name] CHECKED BY: [Name] PROJECT NO.: [Number]</p>
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LINE AND CURVE TABLE FOR SHEET 16

LINE	LENGTH	BEARING	START POINT	END POINT	CHORD BEARING	CHORD DIST.	DELTA	TANGENT
1	173.52	S89°00'00"E			173.52	173.52	0°00'	44.86'
2	112.8	S01°00'00"E			112.8	112.8	0°00'	28.85'
3	323.03	S01°00'00"E			323.03	323.03	0°00'	30.5'
4	273.53	S02°00'00"E			273.53	273.53	0°00'	N/A
5	216.93	S01°00'00"E			216.93	216.93	0°00'	N/A
6	140.02	S01°00'00"E			140.02	140.02	0°00'	N/A
7	34.84	S01°00'00"E			34.84	34.84	0°00'	N/A
8	34.84	S01°00'00"E			34.84	34.84	0°00'	N/A

LINE AND CURVE TABLE FOR SHEET 17

LINE	LENGTH	BEARING	START POINT	END POINT	CHORD BEARING	CHORD DIST.	DELTA	TANGENT
9	41.71	S01°00'00"E			41.71	41.71	0°00'	27.84'
10	418.79	S01°00'00"E			418.79	418.79	0°00'	33.14'
11	323.03	S01°00'00"E			323.03	323.03	0°00'	24.88'
12	177	S45°00'00"E			177	177	0°00'	N/A
13	177	S45°00'00"E			177	177	0°00'	N/A
14	323.03	S01°00'00"E			323.03	323.03	0°00'	N/A
15	323.03	S01°00'00"E			323.03	323.03	0°00'	N/A
16	323.03	S01°00'00"E			323.03	323.03	0°00'	N/A
17	323.03	S01°00'00"E			323.03	323.03	0°00'	N/A
18	323.03	S01°00'00"E			323.03	323.03	0°00'	N/A
19	323.03	S01°00'00"E			323.03	323.03	0°00'	N/A
20	323.03	S01°00'00"E			323.03	323.03	0°00'	N/A
21	323.03	S01°00'00"E			323.03	323.03	0°00'	N/A
22	323.03	S01°00'00"E			323.03	323.03	0°00'	N/A
23	323.03	S01°00'00"E			323.03	323.03	0°00'	N/A
24	323.03	S01°00'00"E			323.03	323.03	0°00'	N/A
25	323.03	S01°00'00"E			323.03	323.03	0°00'	N/A

REMARKS:
 1. 3' NON-BEARING BRASS CORNER MARKERS TO BE SET AT THE INTERSECTION OF A CORNER AND FOR PILES TO BE SET AT THE CORNER.
 2. ALL CORNER MARKERS TO BE SET AT THE CORNER.
 3. ALL CORNER MARKERS TO BE SET AT THE CORNER.
 4. ALL CORNER MARKERS TO BE SET AT THE CORNER.
 5. ALL CORNER MARKERS TO BE SET AT THE CORNER.
 6. ALL CORNER MARKERS TO BE SET AT THE CORNER.
 7. ALL CORNER MARKERS TO BE SET AT THE CORNER.
 8. ALL CORNER MARKERS TO BE SET AT THE CORNER.
 9. ALL CORNER MARKERS TO BE SET AT THE CORNER.
 10. ALL CORNER MARKERS TO BE SET AT THE CORNER.

APPROVED ON 07/12/2021

EXHIBIT A - DEFERRED ROADWAY IMPROVEMENTS

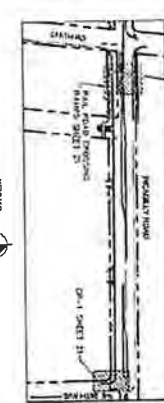
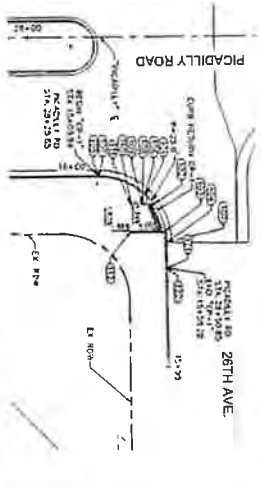
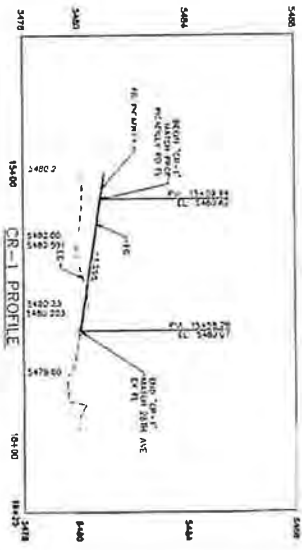
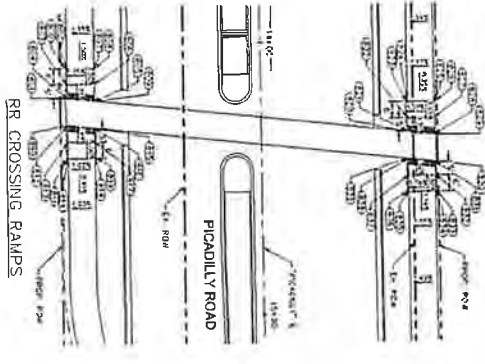
SHEET 14 OF 48

		CITY OF AURORA AURORA COMMERCE CENTER SUBDIVISION FILING NO. 3 PICADILLY ROAD IMPROVEMENTS LINE AND CURVE TABLES	REVISION NO. _____ DATE 5/10/21
		FACSIMILE This is a facsimile of the original drawing. It is not to be used for construction purposes.	NO. _____ DATE _____

\\Cen_Pub\Sector\106558002 - Aurora ACI MO Foody_Road\CA00\04115\DRP.dwg

POINT NO.	STATION	ALIGNMENT	OFFSET	ELEVATION	DESCRIPTION
800	14+08.07	PICADILLY RD	72.00	528.16	TC
801	14+08.01	PICADILLY RD	72.00	528.59	SMK
802	14+08.07	PICADILLY RD	71.50	528.76	SMK
803	14+18.01	PICADILLY RD	71.50	528.60	SMK
804	14+19.01	PICADILLY RD	71.50	528.89	RR PAD
805	14+20.01	PICADILLY RD	61.50	528.77	SMK
806	14+18.01	PICADILLY RD	61.50	528.84	SMK
807	14+09.01	PICADILLY RD	61.00	528.84	SMK
808	14+20.01	PICADILLY RD	61.00	528.77	RR PAD
809	14+20.01	PICADILLY RD	72.00	528.91	TC
810	14+41.21	PICADILLY RD	71.50	528.84	SMK
811	14+42.01	PICADILLY RD	71.50	528.76	SMK
812	14+43.01	PICADILLY RD	71.50	528.76	SMK
813	14+43.01	PICADILLY RD	71.50	528.76	SMK
814	14+43.01	PICADILLY RD	71.50	528.76	SMK
815	14+50.01	PICADILLY RD	61.00	528.77	RR PAD
816	14+51.01	PICADILLY RD	61.50	528.67	SMK
817	14+51.01	PICADILLY RD	61.50	528.70	SMK
818	14+41.21	PICADILLY RD	61.00	528.91	TC
819	14+41.21	PICADILLY RD	61.00	528.91	TC
820	14+43.01	PICADILLY RD	61.00	528.84	SMK
821	14+43.01	PICADILLY RD	61.00	528.84	SMK
822	14+43.01	PICADILLY RD	61.00	528.84	SMK
823	14+43.01	PICADILLY RD	61.00	528.84	SMK
824	14+43.01	PICADILLY RD	61.00	528.84	SMK
825	14+43.01	PICADILLY RD	61.00	528.84	SMK
826	14+43.01	PICADILLY RD	61.00	528.84	SMK
827	14+43.01	PICADILLY RD	61.00	528.84	SMK
828	14+43.01	PICADILLY RD	61.00	528.84	SMK
829	14+43.01	PICADILLY RD	61.00	528.84	SMK
830	14+43.01	PICADILLY RD	61.00	528.84	SMK
831	14+43.01	PICADILLY RD	61.00	528.84	SMK
832	14+43.01	PICADILLY RD	61.00	528.84	SMK
833	14+43.01	PICADILLY RD	61.00	528.84	SMK
834	14+43.01	PICADILLY RD	61.00	528.84	SMK
835	14+43.01	PICADILLY RD	61.00	528.84	SMK
836	14+43.01	PICADILLY RD	61.00	528.84	SMK
837	14+43.01	PICADILLY RD	61.00	528.84	SMK
838	14+43.01	PICADILLY RD	61.00	528.84	SMK
839	14+43.01	PICADILLY RD	61.00	528.84	SMK

POINT NO.	STATION	ALIGNMENT	OFFSET	ELEVATION	DESCRIPTION
900	28+53.06	PICADILLY RD	51.00	548.82	TC, RRW
901	28+53.06	PICADILLY RD	51.00	548.82	TC, RRW
902	28+46.52	PICADILLY RD	61.50	548.06	TC
903	28+50.04	PICADILLY RD	71.50	548.27	TC
904	28+50.04	PICADILLY RD	72.07	548.27	TC
905	28+52.83	PICADILLY RD	58.42	548.01	TC
906	28+42.92	PICADILLY RD	58.42	548.01	TC
907	28+40.35	PICADILLY RD	75.88	548.77	SMK
908	28+41.85	PICADILLY RD	61.00	548.31	SMK
909	28+41.85	PICADILLY RD	61.00	548.35	SMK
910	28+41.85	PICADILLY RD	61.00	548.35	SMK
911	28+41.85	PICADILLY RD	61.00	548.35	SMK
912	28+41.85	PICADILLY RD	61.00	548.35	SMK
913	28+41.85	PICADILLY RD	61.00	548.35	SMK
914	28+41.85	PICADILLY RD	61.00	548.35	SMK
915	28+41.85	PICADILLY RD	61.00	548.35	SMK
916	28+41.85	PICADILLY RD	61.00	548.35	SMK
917	28+41.85	PICADILLY RD	61.00	548.35	SMK
918	28+41.85	PICADILLY RD	61.00	548.35	SMK
919	28+41.85	PICADILLY RD	61.00	548.35	SMK
920	28+41.85	PICADILLY RD	61.00	548.35	SMK
921	28+41.85	PICADILLY RD	61.00	548.35	SMK
922	28+41.85	PICADILLY RD	61.00	548.35	SMK
923	28+41.85	PICADILLY RD	61.00	548.35	SMK
924	28+41.85	PICADILLY RD	61.00	548.35	SMK
925	28+41.85	PICADILLY RD	61.00	548.35	SMK
926	28+41.85	PICADILLY RD	61.00	548.35	SMK
927	28+41.85	PICADILLY RD	61.00	548.35	SMK
928	28+41.85	PICADILLY RD	61.00	548.35	SMK
929	28+41.85	PICADILLY RD	61.00	548.35	SMK
930	28+41.85	PICADILLY RD	61.00	548.35	SMK



APPROVED ON 07/12/2021

EXHIBIT A - DEFERRED ROADWAY IMPROVEMENTS
SHEET 15 OF 48

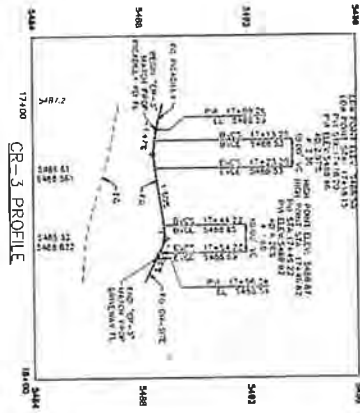
CITY OF AURORA
AURORA COMMERCE CENTER SUBDIVISION FILING NO. 3
PICADILLY ROAD IMPROVEMENTS
CURB RETURN DETAILS

Kimley»Horn
KIMLEY-HORN AND ASSOCIATES, INC.
1711 S. W. 10TH AVENUE, SUITE 207C, BOULDER, COLORADO 80521 (303) 278-2300

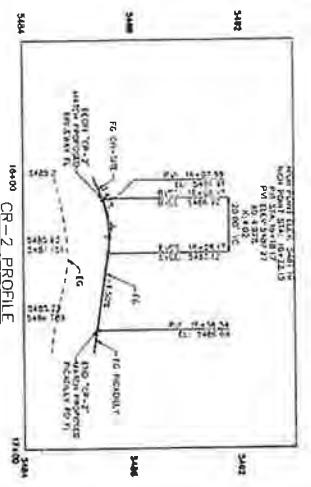
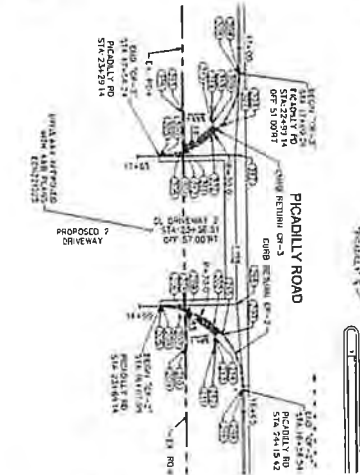
DATE: 07/12/21
BY: [Signature]
CHECKED BY: [Signature]
DESIGNED BY: [Signature]

SCALE: 1" = 10'-0"
VERTICAL: 1" = 10'-0"
HORIZONTAL: 1" = 10'-0"

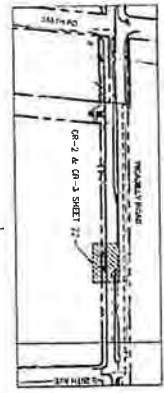
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POINT NO.	STATION	ALIGNMENT	OFFSET	ELEVATION	DESCRIPTION
300	23229.14	PICADILLY RD	66.65	5488.53	FL, PCV
301	23229.03	PICADILLY RD	77.26	5488.87	FL
302	23229.94	PICADILLY RD	41.28	5484.67	FL
303	23218.28	PICADILLY RD	51.97	5489.55	FL
304	23289.14	PICADILLY RD	21.00	5488.53	FL, PUA
305	23289.64	PICADILLY RD	81.86	5487.09	TC
306	23287.28	PICADILLY RD	31.75	5489.17	TC
307	23287.28	PICADILLY RD	24.12	5489.67	TC
308	23289.14	PICADILLY RD	31.39	5489.67	TC
309	23211.03	PICADILLY RD	6.89	5489.04	TC
310	23211.03	PICADILLY RD	0.50	5485.81	TC
311	23292.12	PICADILLY RD	72.00	5488.73	TC
312	23292.12	PICADILLY RD	81.00	5488.18	TC
313	23213.29	PICADILLY RD	61.50	5485.97	TC
314	23213.29	PICADILLY RD	71.90	5489.12	TC
315	23213.29	PICADILLY RD	72.00	5489.17	TC

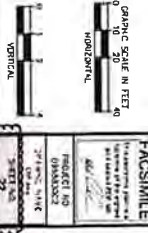


POINT NO.	STATION	ALIGNMENT	OFFSET	ELEVATION	DESCRIPTION
200	23184.14	PICADILLY RD	81.15	5488.81	FL
201	23183.24	PICADILLY RD	72.25	5487.17	FL
202	23183.24	PICADILLY RD	61.20	5487.17	FL
203	23184.14	PICADILLY RD	52.86	5485.07	FL
204	23184.14	PICADILLY RD	51.00	5486.67	FL
205	23184.14	PICADILLY RD	61.14	5487.57	TC
206	23184.14	PICADILLY RD	33.40	5487.57	TC
207	23187.17	PICADILLY RD	32.00	5487.15	TC
208	23187.17	PICADILLY RD	31.50	5487.15	TC
209	23187.17	PICADILLY RD	72.00	5487.24	TC
210	23187.17	PICADILLY RD	61.50	5487.24	TC
211	23187.17	PICADILLY RD	61.50	5487.57	TC
212	23187.17	PICADILLY RD	61.50	5487.57	TC
213	23187.17	PICADILLY RD	61.50	5487.57	TC
214	23187.17	PICADILLY RD	61.50	5487.57	TC
215	23187.17	PICADILLY RD	61.50	5487.57	TC
216	23187.17	PICADILLY RD	61.50	5487.57	TC



APPROVED ON 07/12/2021

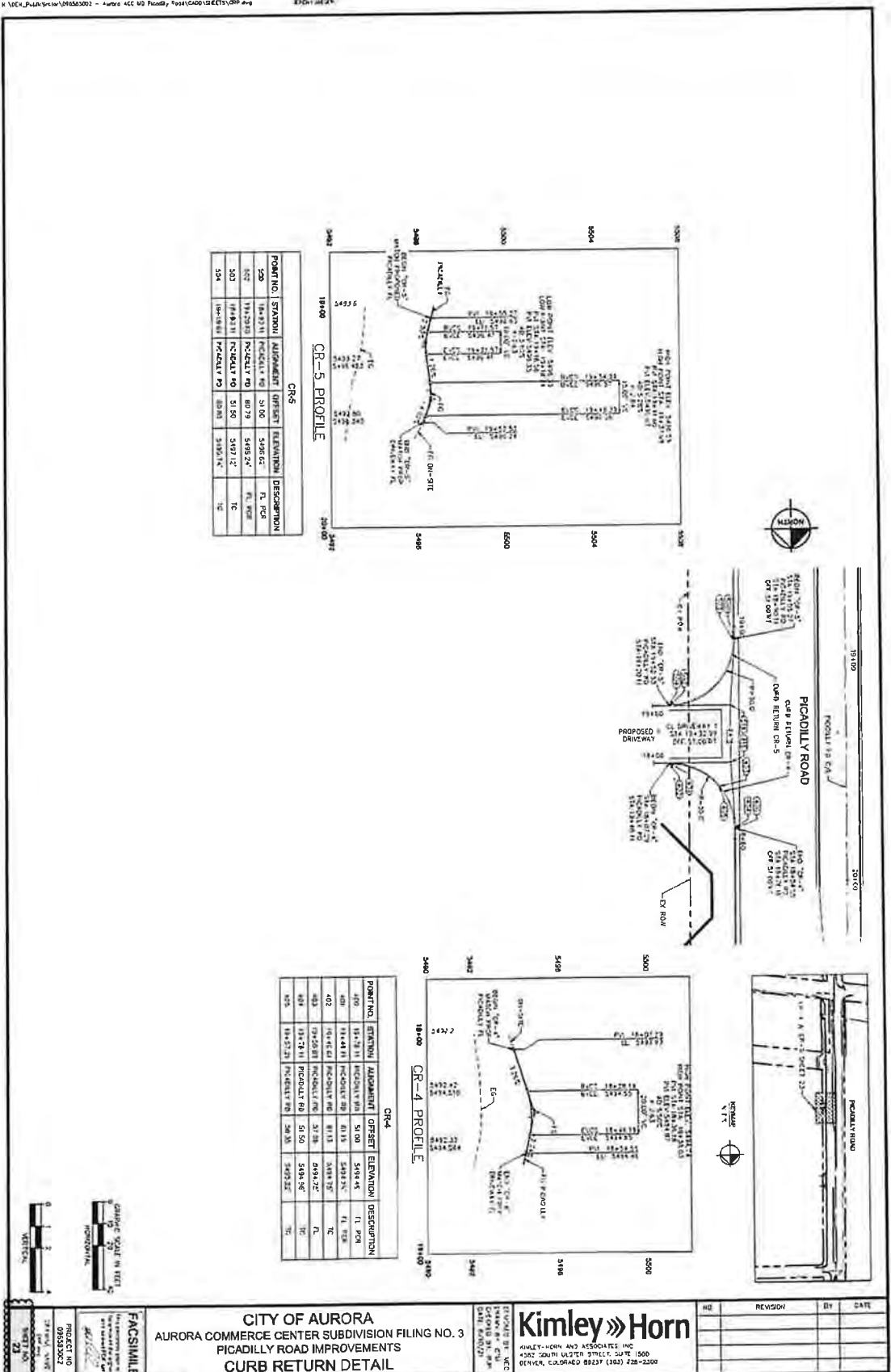
EXHIBIT A - DEFERRED ROADWAY IMPROVEMENTS
SHEET 16 OF 48



CITY OF AURORA
AURORA COMMERCE CENTER SUBDIVISION FILING NO 3
PICADILLY ROAD IMPROVEMENTS
CURB RETURN DETAIL

Kimley»Horn
KIMLEY-HORN AND ASSOCIATES, INC.
1100 SOUTH WASHINGTON STREET, SUITE 100
DENVER, COLORADO 80202 (303) 728-2300

NO.	REVISION	BY	DATE



APPROVED ON 07/12/2021

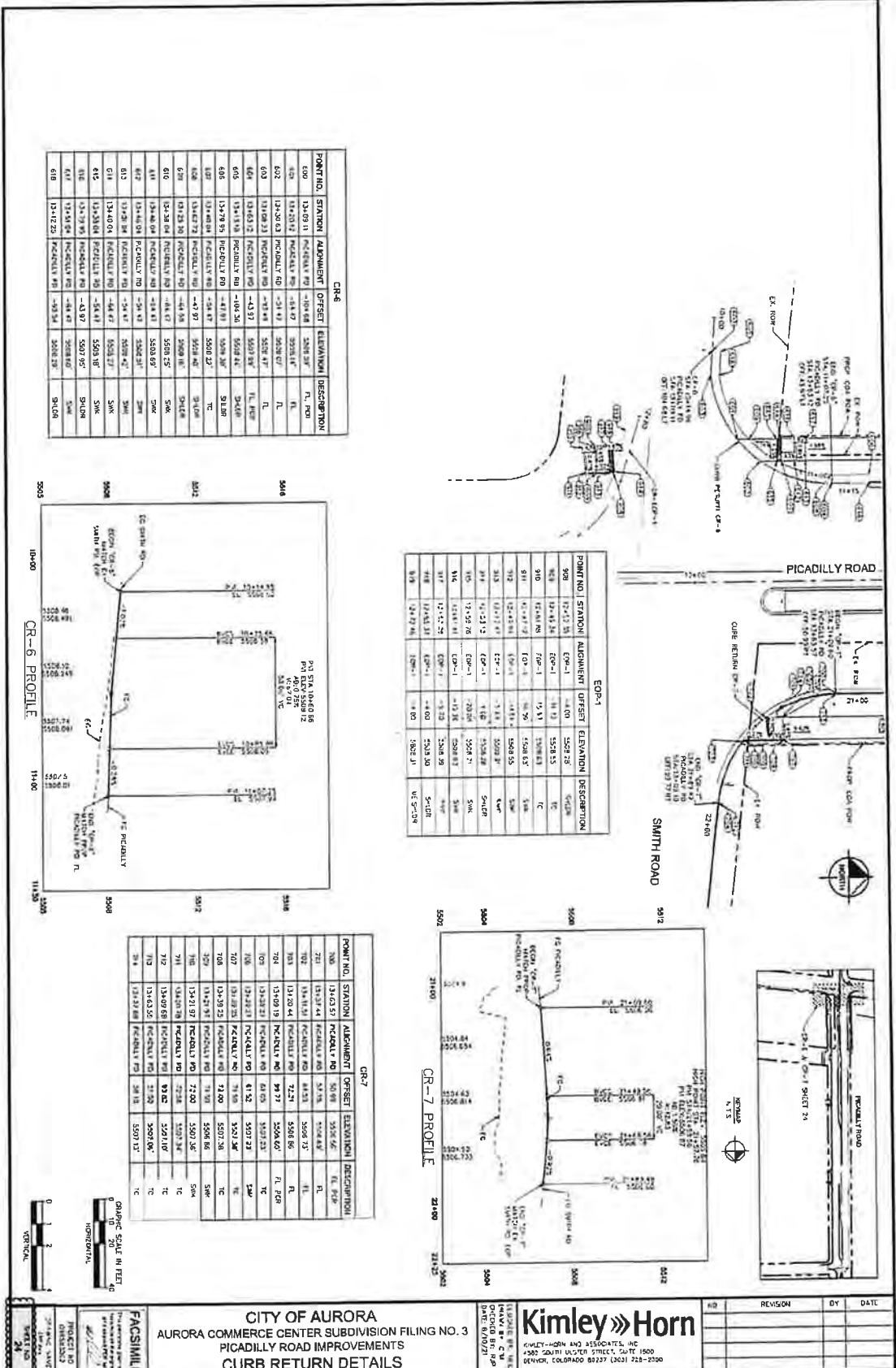


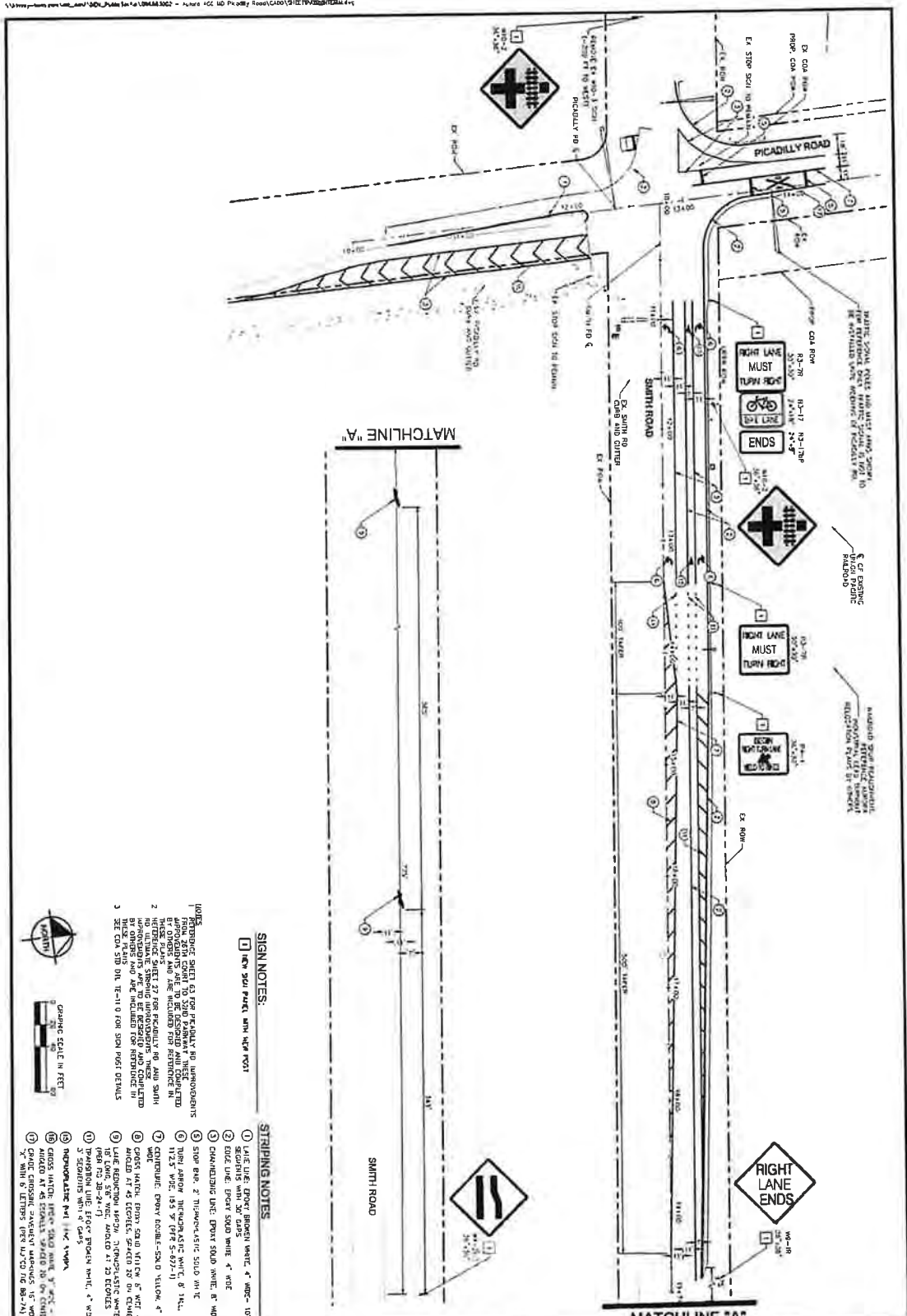
EXHIBIT A - DEFERRED ROADWAY IMPROVEMENTS
SHEET 18 OF 48

CITY OF AURORA
AURORA COMMERCE CENTER SUBDIVISION FILING NO. 3
PICADILLY ROAD IMPROVEMENTS
CURB RETURN DETAILS

Kimley»Horn
KIMLEY-HORN AND ASSOCIATES, INC.
4302 SOUTH WALKER STREET, SUITE 1000
DENVER, COLORADO 80227 (303) 728-2500

NO.	REVISION	BY	DATE

DATE PLOTTED: 07/12/21
DRAWN BY: JAC
CHECKED BY: JAC
DATE: 08/07/21



APPROVED ON 07/12/2021

EXHIBIT A - DEFERRED ROADWAY IMPROVEMENTS

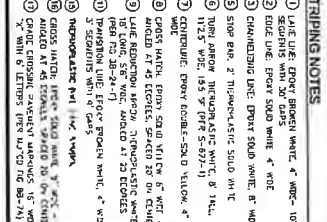
SHEET 19 OF 48

SIGN NOTES:

1. SIGN SHALL BE PLACED WITH LIGHT POST

STRIPING NOTES:

1. LANE LINE: PAVEMENT WHITE, 4" WIDE - 10' SPACING WITH 30' GAPS
2. EDGE LINE: PAVEMENT WHITE, 4" WIDE
3. CHANGING LANE: PAVEMENT WHITE, 4" WIDE
4. STOP BAR: 2" THERMOPLASTIC SOLID WHITE
5. TRUCK STOP: PAVEMENT WHITE, 4" WIDE
6. CENTER MARK: PAVEMENT WHITE, 4" WIDE
7. CENTER MARK: PAVEMENT WHITE, 4" WIDE
8. CENTER MARK: PAVEMENT WHITE, 4" WIDE
9. LANE DIVIDER: PAVEMENT WHITE, 4" WIDE
10. LANE DIVIDER: PAVEMENT WHITE, 4" WIDE
11. STOP BAR: 2" THERMOPLASTIC SOLID WHITE
12. STOP BAR: 2" THERMOPLASTIC SOLID WHITE
13. STOP BAR: 2" THERMOPLASTIC SOLID WHITE
14. STOP BAR: 2" THERMOPLASTIC SOLID WHITE
15. STOP BAR: 2" THERMOPLASTIC SOLID WHITE
16. STOP BAR: 2" THERMOPLASTIC SOLID WHITE
17. STOP BAR: 2" THERMOPLASTIC SOLID WHITE
18. STOP BAR: 2" THERMOPLASTIC SOLID WHITE
19. STOP BAR: 2" THERMOPLASTIC SOLID WHITE
20. STOP BAR: 2" THERMOPLASTIC SOLID WHITE



<p>Kimley»Horn</p> <p>PLANNING AND ASSOCIATES INC</p> <p>4300 SOUTH BELTWAY SUITE 1500</p> <p>DENVER, COLORADO 80221 (303) 228-2300</p>	<p>NO.</p>	<p>REVISION</p>	<p>BY</p>	<p>DATE</p>
	<p>REVISION</p>	<p>BY</p>	<p>DATE</p>	<p>DATE</p>

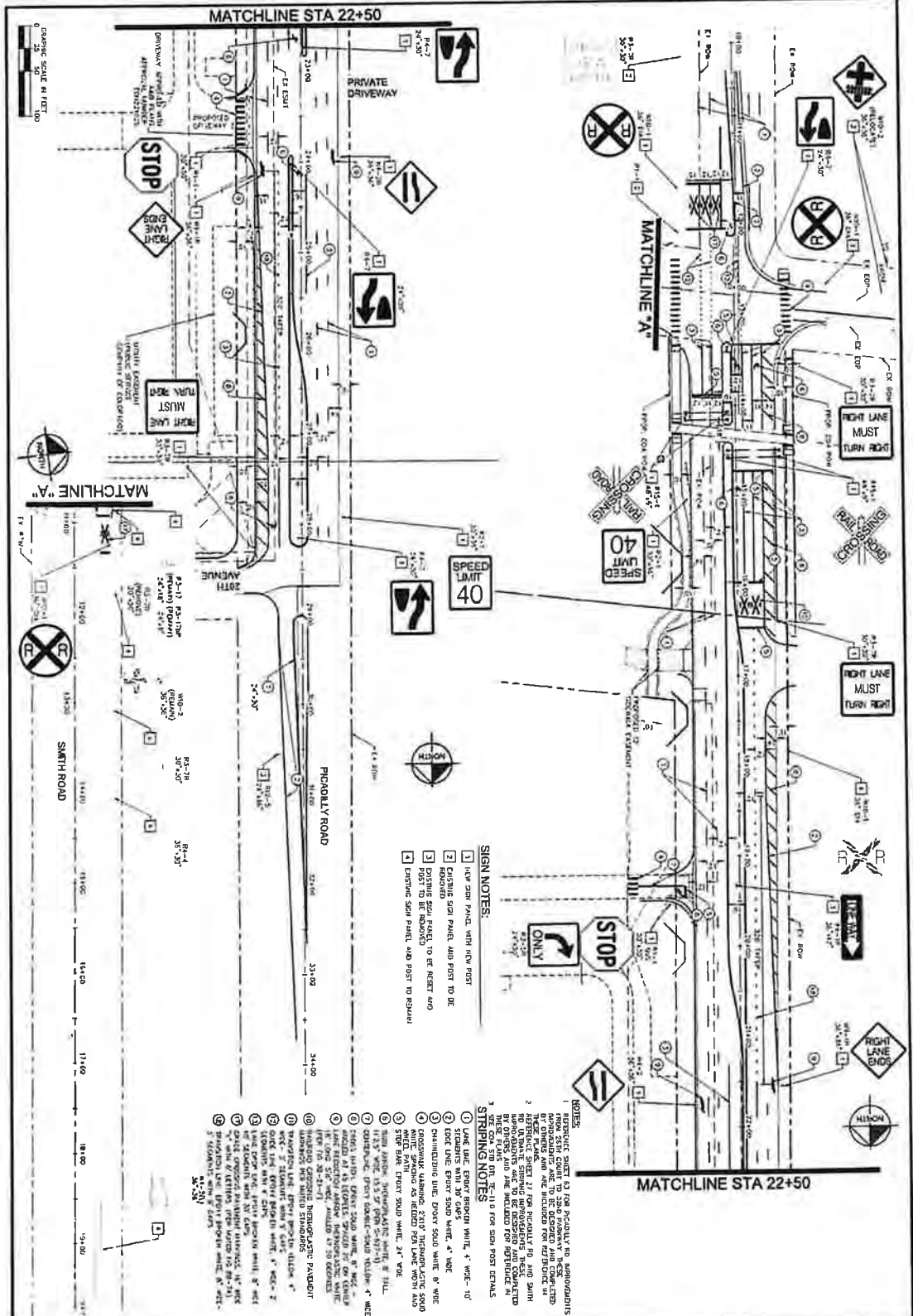
CITY OF AURORA
 AURORA COMMERCE CENTER SUBDIVISION FILING NO. 3
 PICADILLY ROAD IMPROVEMENTS
 INTERIM SIGNING AND STRIPING

DESIGNED BY: WJC
 CHECKED BY: WJC
 DATE: 07/12/21

PROJECT ID: 2021-001
SHEET NO.: 19 OF 48

\\www.pws.com\In\Local\2017\Projects\190653002 - Aurora AC - Picadilly Road\DWG\2017\20170624.dwg

APPROVED ON 07/11/2021

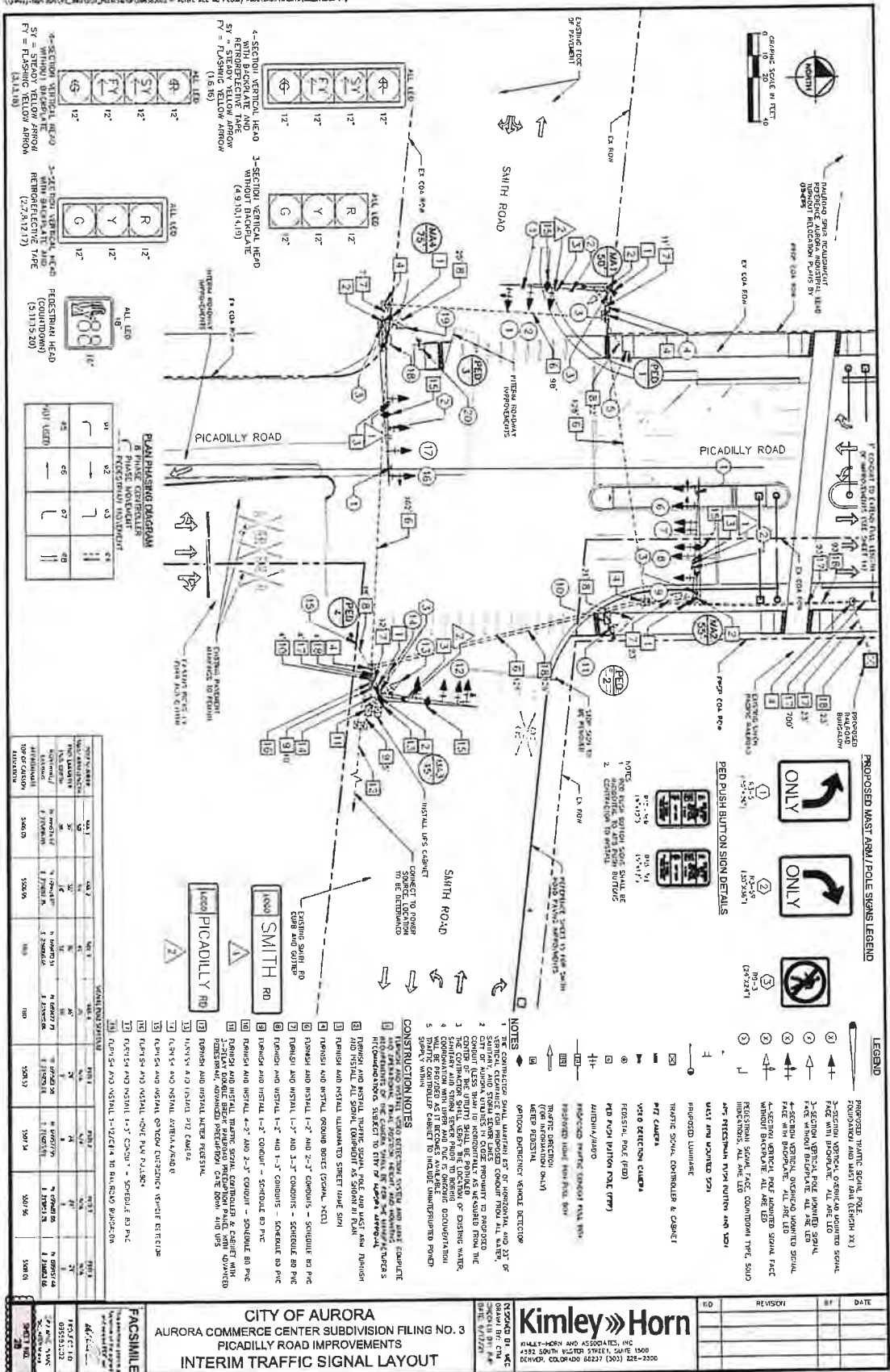


- SIGN NOTES:**
- 1 NEW SIGN PANEL WITH NEW POST
 - 2 EXISTING SIGN PANEL, ADD POST TO BE REMOVED
 - 3 EXISTING SIGN PANEL, TO BE RESET AND RESTRIPPED
 - 4 EXISTING SIGN PANEL, ADD POST TO SQUARE

- NOTES:**
- 1 SIGNATURE SHEET AS FOR PICADILLY RD IMPROVEMENTS FROM 22+00 TO 22+50. PREVIOUS REVISIONS ARE NOT TO BE USED FOR CONSTRUCTION.
 - 2 ALL SIGNAGE SHALL BE FOR PICADILLY RD AND SHALL BE IN ACCORDANCE WITH THE ILLINOIS SIGNAGE MANUAL.
 - 3 ALL SIGNAGE SHALL BE IN ACCORDANCE WITH THE ILLINOIS SIGNAGE MANUAL.
 - 4 ALL SIGNAGE SHALL BE IN ACCORDANCE WITH THE ILLINOIS SIGNAGE MANUAL.
 - 5 SEE PLAN FOR SIGNAGE DETAILS.
- STRIPING NOTES:**
- 1 LANE LINE COLOR: PAVEMENT WHITE, 4" WIDE - 10'
 - 2 STRIPING COLOR: PAVEMENT WHITE, 4" WIDE
 - 3 STRIPING COLOR: PAVEMENT WHITE, 4" WIDE
 - 4 STRIPING COLOR: PAVEMENT WHITE, 4" WIDE
 - 5 STRIPING COLOR: PAVEMENT WHITE, 4" WIDE
 - 6 STRIPING COLOR: PAVEMENT WHITE, 4" WIDE
 - 7 STRIPING COLOR: PAVEMENT WHITE, 4" WIDE
 - 8 STRIPING COLOR: PAVEMENT WHITE, 4" WIDE
 - 9 STRIPING COLOR: PAVEMENT WHITE, 4" WIDE
 - 10 STRIPING COLOR: PAVEMENT WHITE, 4" WIDE

EXHIBIT A - DEFERRED ROADWAY IMPROVEMENTS
SHEET 20 OF 48

	CITY OF AURORA AURORA COMMERCE CENTER SUBDIVISION FILING NO. 3 PICADILLY ROAD IMPROVEMENTS ULTIMATE SIGNING AND STRIPING PLAN		
	PROJECT NO. SHEET NO.	REVISION BY DATE	



APPROVED ON 07/12/2021

EXHIBIT A - DEFERRED ROADWAY IMPROVEMENTS
SHEET 22 OF 48

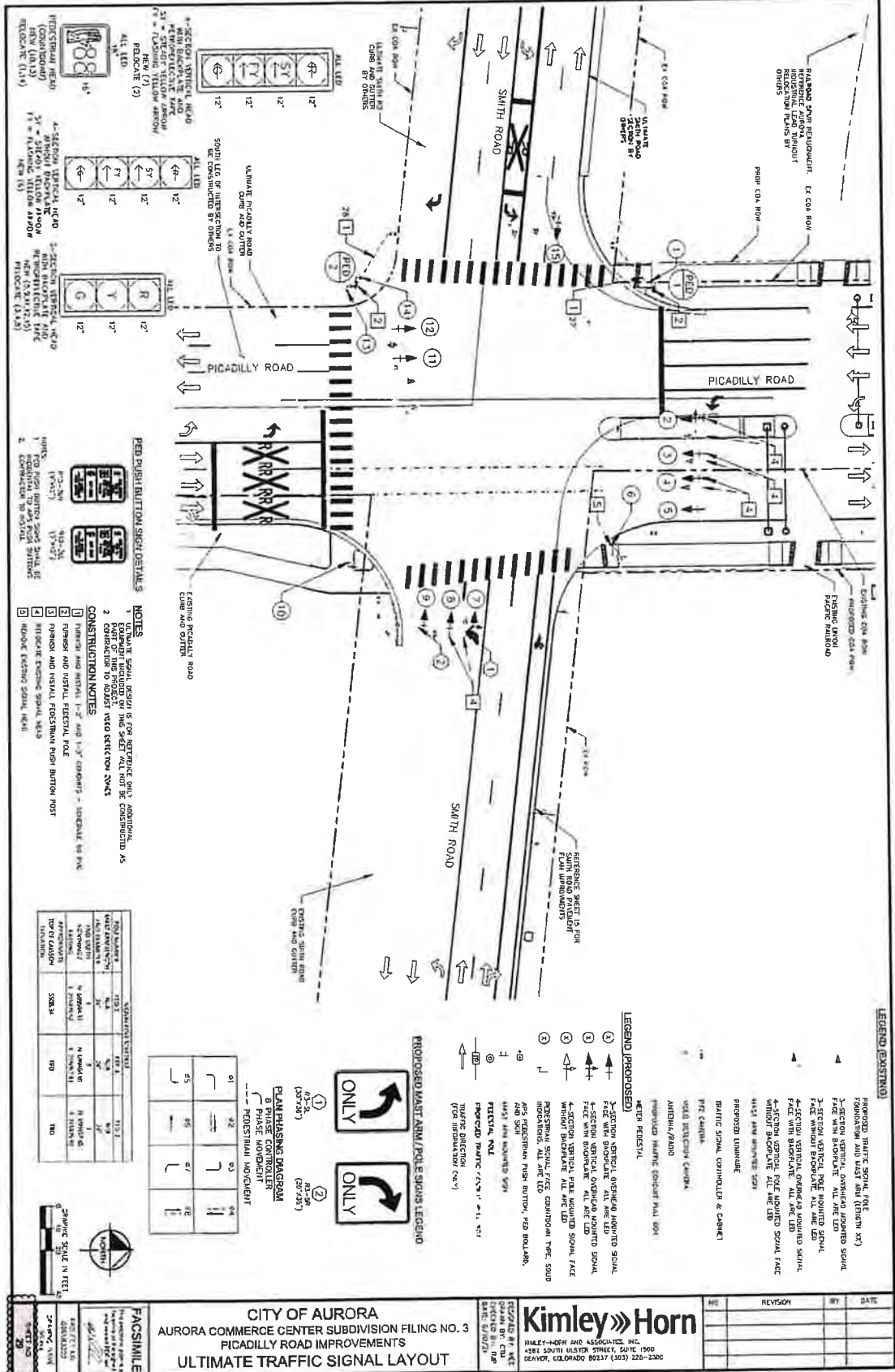
NO.	DATE	REVISION
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3	07/12/2021	ISSUED FOR PERMIT
4	07/12/2021	ISSUED FOR PERMIT
5	07/12/2021	ISSUED FOR PERMIT
6	07/12/2021	ISSUED FOR PERMIT
7	07/12/2021	ISSUED FOR PERMIT
8	07/12/2021	ISSUED FOR PERMIT
9	07/12/2021	ISSUED FOR PERMIT
10	07/12/2021	ISSUED FOR PERMIT
11	07/12/2021	ISSUED FOR PERMIT
12	07/12/2021	ISSUED FOR PERMIT
13	07/12/2021	ISSUED FOR PERMIT
14	07/12/2021	ISSUED FOR PERMIT
15	07/12/2021	ISSUED FOR PERMIT
16	07/12/2021	ISSUED FOR PERMIT
17	07/12/2021	ISSUED FOR PERMIT
18	07/12/2021	ISSUED FOR PERMIT
19	07/12/2021	ISSUED FOR PERMIT
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21	07/12/2021	ISSUED FOR PERMIT
22	07/12/2021	ISSUED FOR PERMIT
23	07/12/2021	ISSUED FOR PERMIT
24	07/12/2021	ISSUED FOR PERMIT
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28	07/12/2021	ISSUED FOR PERMIT
29	07/12/2021	ISSUED FOR PERMIT
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31	07/12/2021	ISSUED FOR PERMIT
32	07/12/2021	ISSUED FOR PERMIT
33	07/12/2021	ISSUED FOR PERMIT
34	07/12/2021	ISSUED FOR PERMIT
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40	07/12/2021	ISSUED FOR PERMIT
41	07/12/2021	ISSUED FOR PERMIT
42	07/12/2021	ISSUED FOR PERMIT
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45	07/12/2021	ISSUED FOR PERMIT
46	07/12/2021	ISSUED FOR PERMIT
47	07/12/2021	ISSUED FOR PERMIT
48	07/12/2021	ISSUED FOR PERMIT
49	07/12/2021	ISSUED FOR PERMIT
50	07/12/2021	ISSUED FOR PERMIT

FACSIMILE
CITY OF AURORA
AURORA COMMERCIAL CENTER SUBDIVISION FILING NO. 3
PICADILLY ROAD IMPROVEMENTS
INTERIM TRAFFIC SIGNAL LAYOUT

Kimley Horn
KIMLEY-HORN AND ASSOCIATES, INC.
1500 15TH AVENUE, SUITE 200
DENVER, COLORADO 80202
TEL: 303.733.2222 FAX: 303.733.2220
WWW.KIMLEY-HORN.COM

PROJECT NO. 150014
SHEET NO. 22 OF 48
DATE: 07/12/2021

\\pww-horn.com\Users\Lee\Drawings\2015\2015001 - Aurora ICC 10 Picadilly Road\CA010-D-CTR\TRM-06.dwg



APPROVED ON 07/12/2021

EXHIBIT A - DEFERRED ROADWAY IMPROVEMENTS
SHEET 23 OF 48

NO.	REVISION	BY	DATE

Kimley»Horn
KIMLEY-HORN AND ASSOCIATES, INC.
1500 DEWEY STREET, SUITE 200
DENVER, COLORADO 80202 (303) 733-2222

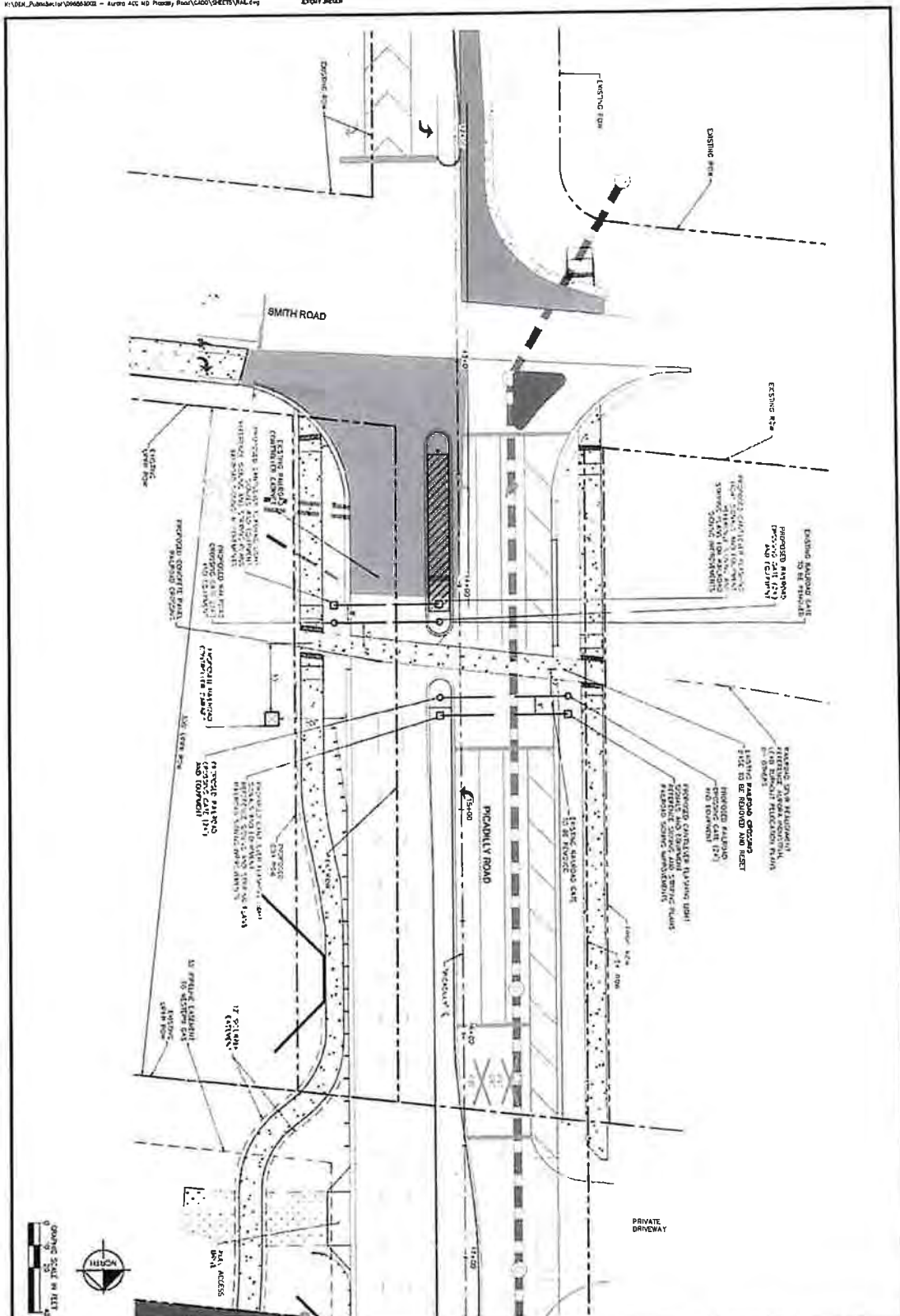
CITY OF AURORA
AURORA COMMERCE CENTER SUBDIVISION FILING NO. 3
PICADILLY ROAD IMPROVEMENTS
ULTIMATE TRAFFIC SIGNAL LAYOUT

PROJECT NO. 2015001
DATE: 07/07/21

DESIGNED BY: [Name]
CHECKED BY: [Name]
DATE: 07/07/21

PROJECT LOCATION: PICADILLY ROAD @ SMITH ROAD

SCALE: 1" = 40'



APPROVED ON 07/12/2021

EXHIBIT A - DEFERRED ROADWAY IMPROVEMENTS
SHEET 24 OF 48

NO.	REVISION	BY	DATE

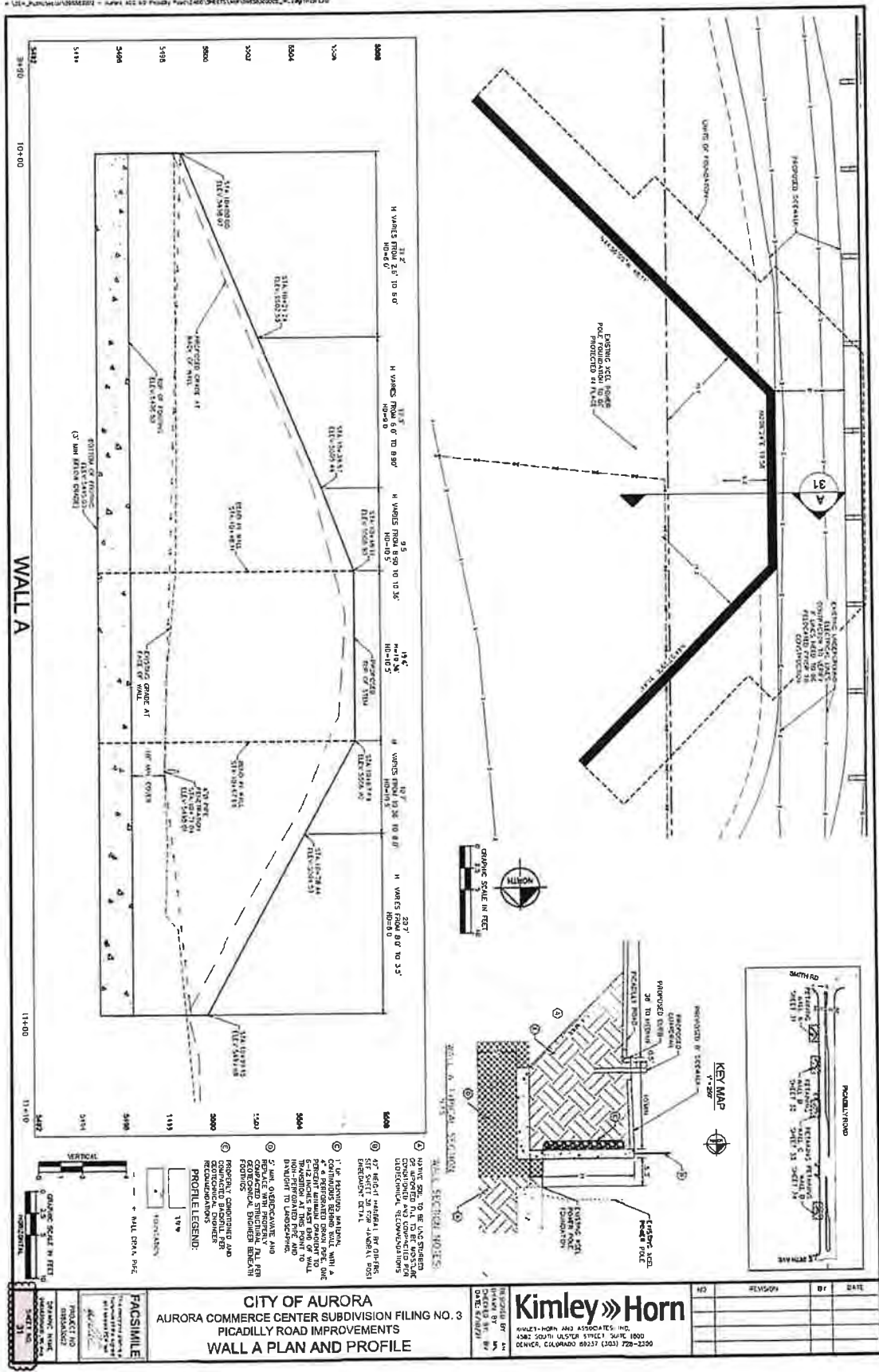
CITY OF AURORA
 AURORA COMMERCE CENTER SUBDIVISION FILING NO. 3
 PICADILLY ROAD IMPROVEMENTS
 RAILROAD CROSSING

Kimley»Horn
 PROJECT NO. 18-010
 SHEET NO. 24 OF 48
 DATE: 07/12/21

PROJECT NO. 18-010
 SHEET NO. 24 OF 48
 DATE: 07/12/21

GRAPHIC SCALE IN FEET
 0 10 20 30

SHEET NO. 30



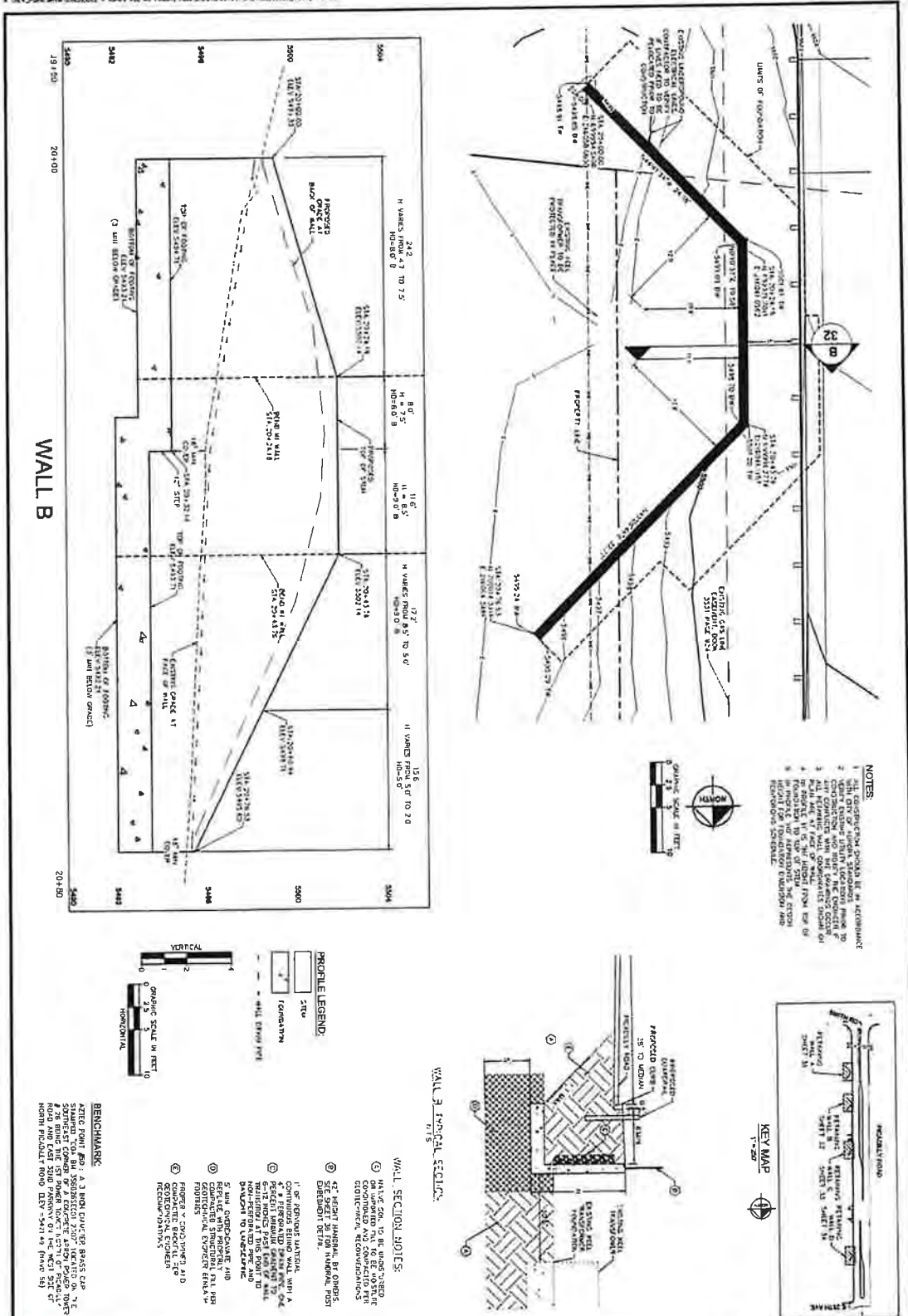
APPROVED ON 07/12/2021

EXHIBIT A - DEFERRED ROADWAY IMPROVEMENTS SHEET 25 OF 48

CITY OF AURORA
 AURORA COMMERCE CENTER SUBDIVISION FILING NO. 3
 PICADILLY ROAD IMPROVEMENTS
 WALL A PLAN AND PROFILE

Kimley»Horn
 KIMLEY-HORN AND ASSOCIATES, INC.
 1875 S. W. 11TH AVENUE, SUITE 1000
 DENVER, COLORADO 80237 (303) 729-2100

NO.	REVISION	BY	DATE

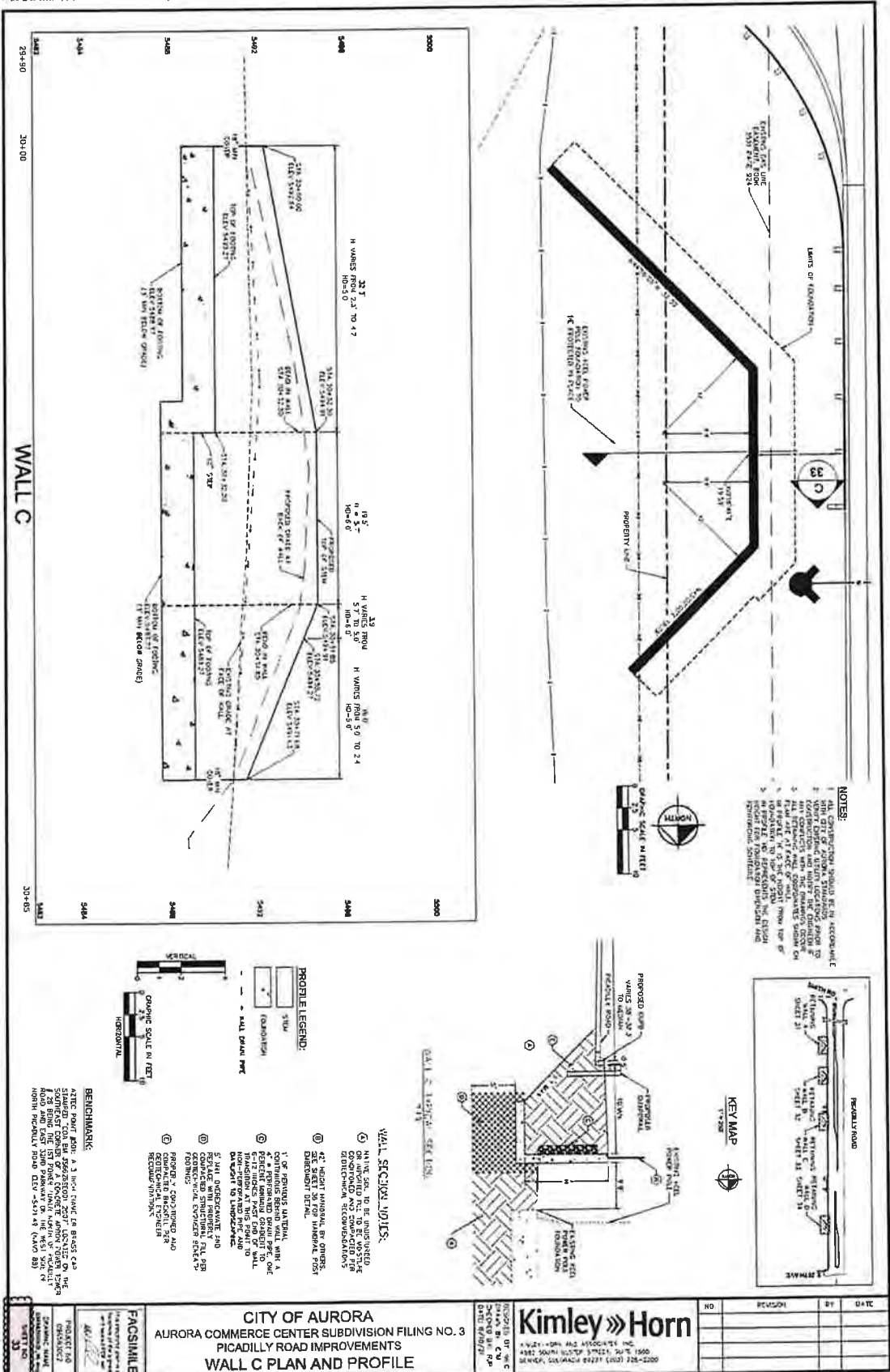


APPROVED ON 07/12/2021

EXHIBIT A - DEFERRED ROADWAY IMPROVEMENTS

SHEET 26 OF 48

<p>CITY OF AURORA AURORA COMMERCE CENTER SUBDIVISION FILING NO. 3 PICADILLY ROAD IMPROVEMENTS WALL B PLAN AND PROFILE</p>	<p>Kimley»Horn KIMLEY-HORN AND ASSOCIATES, INC. 4342 SOUTH WASHINGTON AVENUE, SUITE 100 DENVER, COLORADO 80221 (303) 228-2300</p>	NO.	REVISION	DATE



- NOTES:**
1. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF AURORA SPECIFICATIONS.
 2. VERIFY EXISTING UTILITIES BEFORE CONSTRUCTION AND MARK THEM WITH RED SPRAY AND SURVEYOR'S CORNER.
 3. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF AURORA SPECIFICATIONS.
 4. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF AURORA SPECIFICATIONS.
 5. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF AURORA SPECIFICATIONS.
 6. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF AURORA SPECIFICATIONS.
 7. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF AURORA SPECIFICATIONS.
 8. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF AURORA SPECIFICATIONS.
 9. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF AURORA SPECIFICATIONS.
 10. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF AURORA SPECIFICATIONS.

- WALL SECTION NOTES:**
- 1. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF AURORA SPECIFICATIONS.
 - 2. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF AURORA SPECIFICATIONS.
 - 3. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF AURORA SPECIFICATIONS.
 - 4. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF AURORA SPECIFICATIONS.
 - 5. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF AURORA SPECIFICATIONS.
 - 6. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF AURORA SPECIFICATIONS.
 - 7. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF AURORA SPECIFICATIONS.
 - 8. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF AURORA SPECIFICATIONS.
 - 9. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF AURORA SPECIFICATIONS.
 - 10. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF AURORA SPECIFICATIONS.

APPROVED ON 07/12/2021

EXHIBIT A - DEFERRED ROADWAY IMPROVEMENTS

SHEET 27 OF 48

Kimley Horn
 CONSULTING ENGINEERS
 2000 W. WASHINGTON AVE., SUITE 200
 AURORA, ILLINOIS 60007
 TEL: (708) 221-7777 FAX: (708) 221-7778
 WWW.KIMLEYHORN.COM

NO.	REVISION	BY	DATE

CITY OF AURORA
 AURORA COMMERCE CENTER SUBDIVISION FILING NO. 3
 PICADILLY ROAD IMPROVEMENTS
 WALL C PLAN AND PROFILE

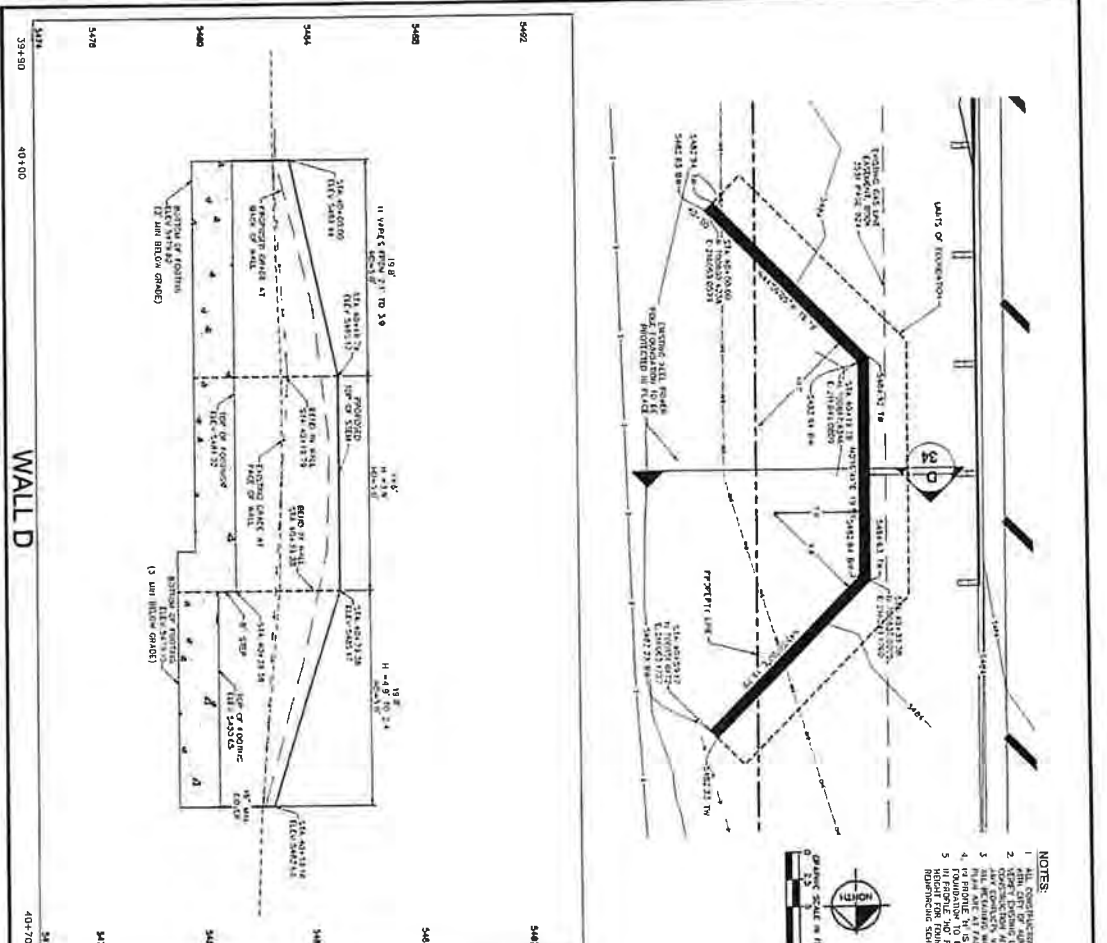
PROFILING
 DRAWING NO. 2020-01-01
 SHEET 27 OF 48
 DATE 07/12/2021

BENCHMARK:
 AITCS POINT 890.1 - 3.3 HIGHER CORNER CAP
 STATIONED TO BE 892.25000. 250' W. OF THE
 INTERSECTION OF PICADILLY ROAD AND
 F 28 ROAD. THE 151 POINT QUANTITY OF RESULTS
 ROAD AND DIST 2000 MEASUREMENT TO THE BENCH
 MARK IS 151.0000. ROAD DIST 2500.41 (ELEV. 890.1)

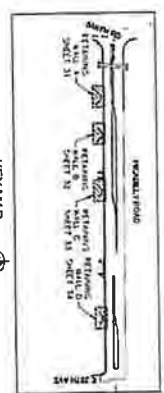
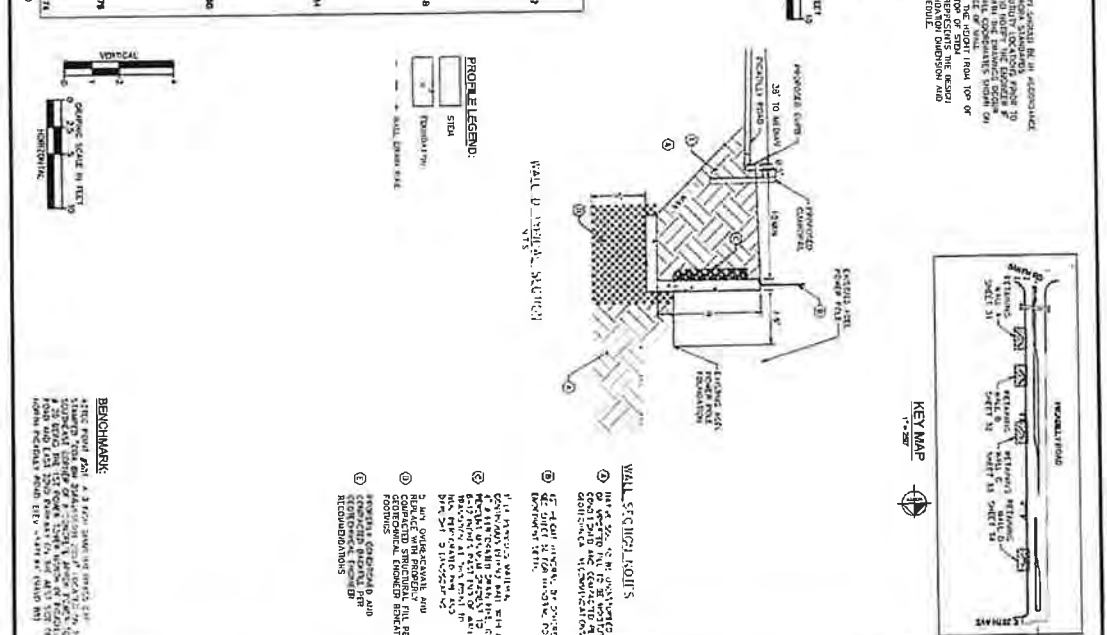
PROFILE LEGEND:
 1" = 8" HORIZONTAL
 1" = 2' VERTICAL
 (1) EXISTING
 (2) PROPOSED

WALL C

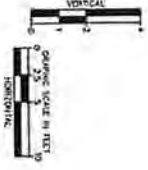
\\spx\proj\2021\192862021 - 192862021 - 192862021.dwg (11/11/2021 10:41:11 AM) 192862021.dwg



- NOTES:**
1. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF AURORA SPECIFICATIONS.
 2. VERIFY EXISTING UTILITIES LOCATION PRIOR TO CONSTRUCTION. ALL UTILITIES SHALL BE PROTECTED AND DEEPER THAN THE PROPOSED WALL.
 3. ALL EXISTING UTILITIES SHALL BE DEEPER THAN THE PROPOSED WALL.
 4. PROVIDE 1" x 6" SPC JOIST ROAD TOP OF WALL.
 5. IN PLACE TOP REPRESENTS THE REAR SIDE OF THE WALL. (SEE ELEVATION AND REVISIONS FOR DETAILS).



- PROFILE LEGEND:**
- PROPOSED CURB
 - PROPOSED SIDEWALK
 - EXISTING SIDEWALK
 - EXISTING SIDEWALK (3' WIDE)



BENCHMARK:
 4512192862021 - 192862021 - 192862021.dwg (11/11/2021 10:41:11 AM) 192862021.dwg

- WALL SECTION NOTES:**
1. 12" MINIMUM WALL THICKNESS.
 2. 12" MINIMUM WALL THICKNESS WITH 4" MINIMUM REINFORCING BARS WITH 6" MINIMUM SPACING.
 3. 12" MINIMUM WALL THICKNESS WITH 4" MINIMUM REINFORCING BARS WITH 6" MINIMUM SPACING.
 4. 12" MINIMUM WALL THICKNESS WITH 4" MINIMUM REINFORCING BARS WITH 6" MINIMUM SPACING.
 5. 12" MINIMUM WALL THICKNESS WITH 4" MINIMUM REINFORCING BARS WITH 6" MINIMUM SPACING.

APPROVED ON 07/12/2021

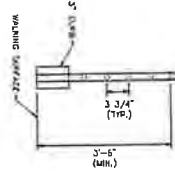
WALL D

EXHIBIT A - DEFERRED ROADWAY IMPROVEMENTS SHEET 28 OF 48

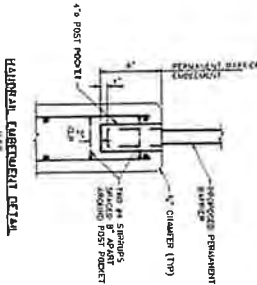
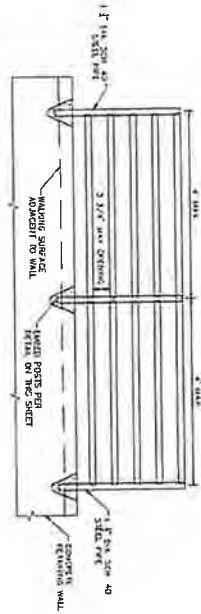
<p>CITY OF AURORA AURORA COMMERCE CENTER SUBDIVISION FILING NO. 3 PICADILLY ROAD IMPROVEMENTS WALL D PLAN AND PROFILE</p>	<p>Kimley»Horn CIVIL ENGINEERS AND ARCHITECTS, INC. 4501 SOUTH WISLER STREET, SUITE 1600 DENVER, COLORADO 80237 (303) 726-2500</p>	<p>DESIGNED BY: [Name] DRAWN BY: [Name] CHECKED BY: [Name] DATE: [Date]</p>	<p>NO. [] REVISION [] DATE []</p>
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K:\304_Pub\Set\109585002 - Aurora 432 MD Ready Road\109585002\DWG\1095850002_HL_07082021.dwg

APPROVED ON 07/12/2021



HANDRAIL DETAIL
N.T.S.



HANDRAIL CONNECTION DETAIL
N.T.S.

EXHIBIT A - DEFERRED ROADWAY IMPROVEMENTS
SHEET 30 OF 48

<p>Kimley»Horn</p> <p>PLANNING ENGINEERS ARCHITECTS INC. 4502 50TH AVENUE STREET, SUITE 1000 DENVER, COLORADO 80227 (303) 228-2300</p>	DATE			
	BY			
NO.				
REVISION				

CITY OF AURORA
AURORA COMMERCE CENTER SUBDIVISION FILING NO. 3
PICADILLY ROAD IMPROVEMENTS
WALL DETAILS

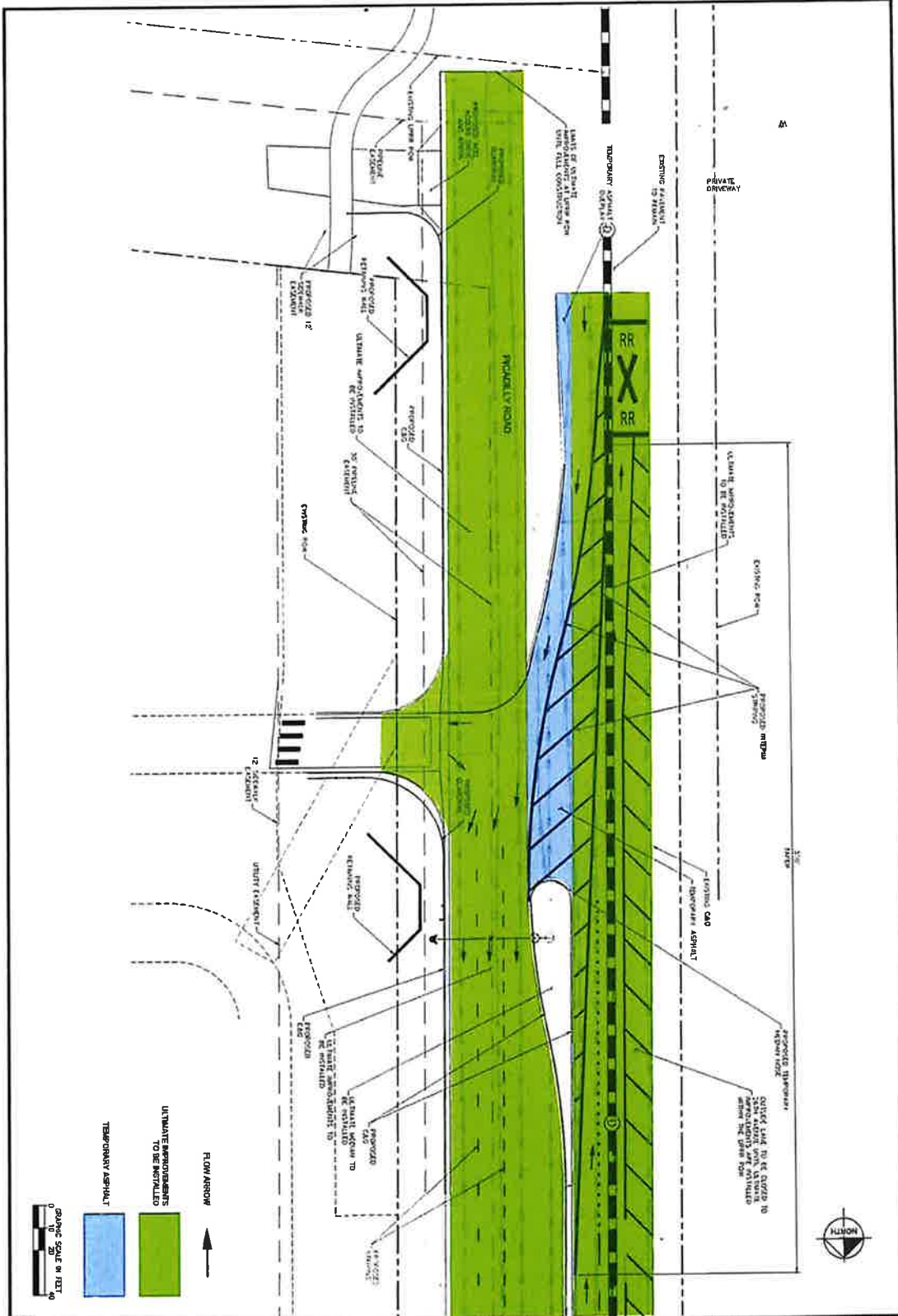
DESIGNED BY: [Name]
CHECKED BY: [Name]
DATE: 07/12/21

FACSIMILE
This drawing is a facsimile of the original drawing. It is not to be used for construction purposes. The original drawing is the only valid reference for construction.

DESIGNED BY: [Name]
CHECKED BY: [Name]
DATE: 07/12/21

SHEET NO. 30

H:\DDT_P\Subcenter\08868201 - Aurora ACC MD Plan\PI Picadilly Road\RR_NORTH_RL.dwg JRD-H JRE-00



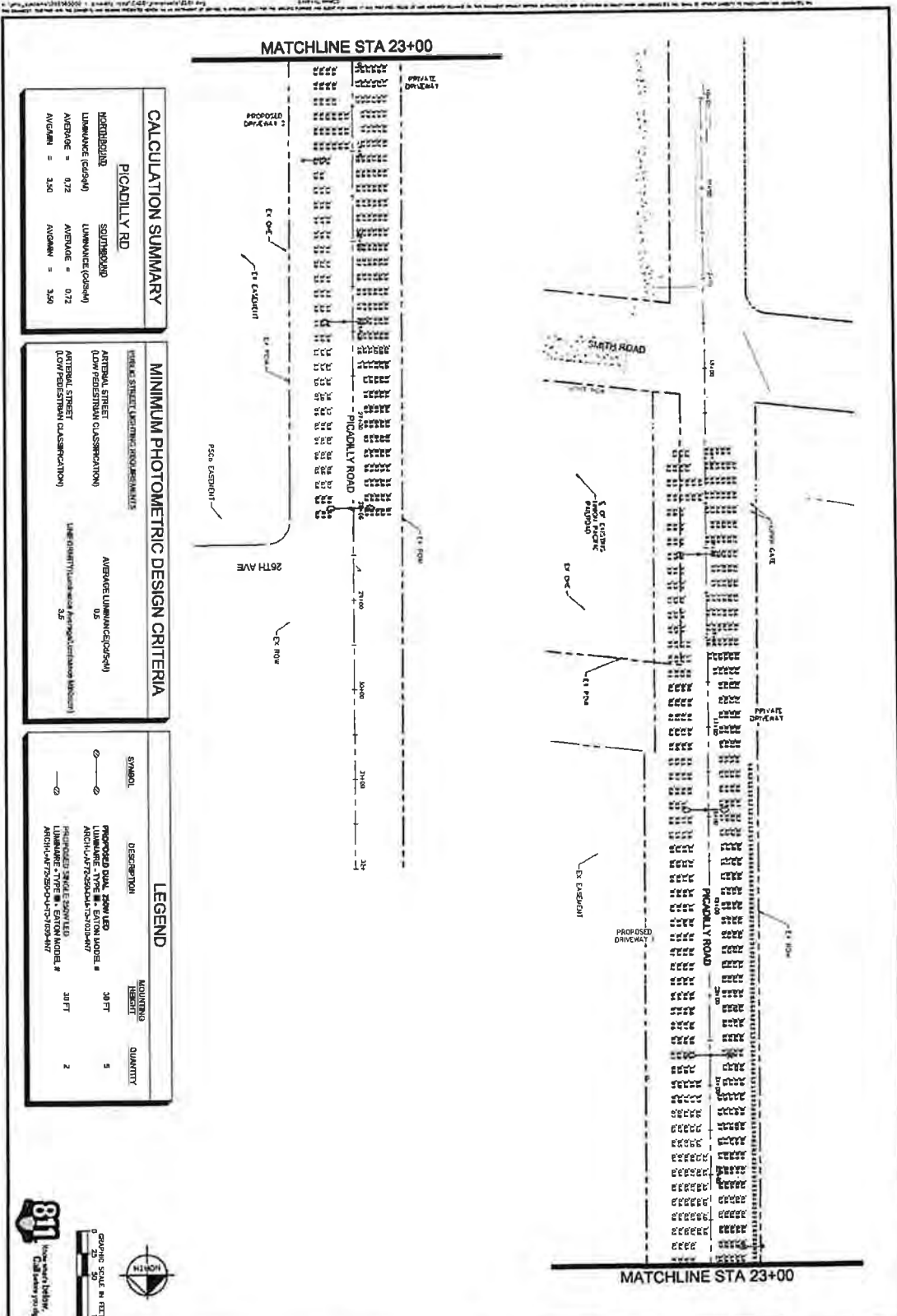
APPROVED ON 07/12/2021

EXHIBIT A - DEFERRED ROADWAY IMPROVEMENTS
SHEET 31 OF 48

<p>CITY OF AURORA AURORA COMMERCE CENTER SUBDIVISION FILING NO. 3 PICADILLY ROAD IMPROVEMENTS INTERIM RR PHASING ROADWAY LAYOUT</p>	<p>Kimley-Horn KIMLEY-HORN AND ASSOCIATES, INC. 4425 SOUTH WALKER STREET, SUITE 1000 DENVER, COLORADO 80237 (303) 738-2300</p>	NO.	REVISION	BY	DATE

DESIGNED BY: JRD
 CHECKED BY: JRE
 DATE: 05/27/21

PROJECT NO: 08868201
 SHEET NO: 31 OF 48



CALCULATION SUMMARY			
PICADILLY RD		SOUTHBOUND	
RECORDED	LUMINANCE (cd/ft²)	RECORDED	LUMINANCE (cd/ft²)
	AVERAGE = 0.72		AVERAGE = 0.72
	AVGMIN = 0.30		AVGMAX = 0.30

MINIMUM PHOTOMETRIC DESIGN CRITERIA	
VEHICLE STREET LIGHTING REQUIREMENTS	AVERAGE LUMINANCE (cd/ft²)
ARTERIAL STREET (LOW PEDIESTRIAN CLASSIFICATION)	0.5
ARTERIAL STREET (LOW PEDIESTRIAN CLASSIFICATION)	0.5

LEGEND			
SYMBOL	DESCRIPTION	HEIGHT	QUANTITY
	PROPOSED DUAL ROW LED LUMINAIRE TYPE - DITON MOBE #	30 FT	5
	PROPOSED SINGLE ROW LED LUMINAIRE TYPE - DITON MOBE #	30 FT	2

APPROVED ON 07/12/2021

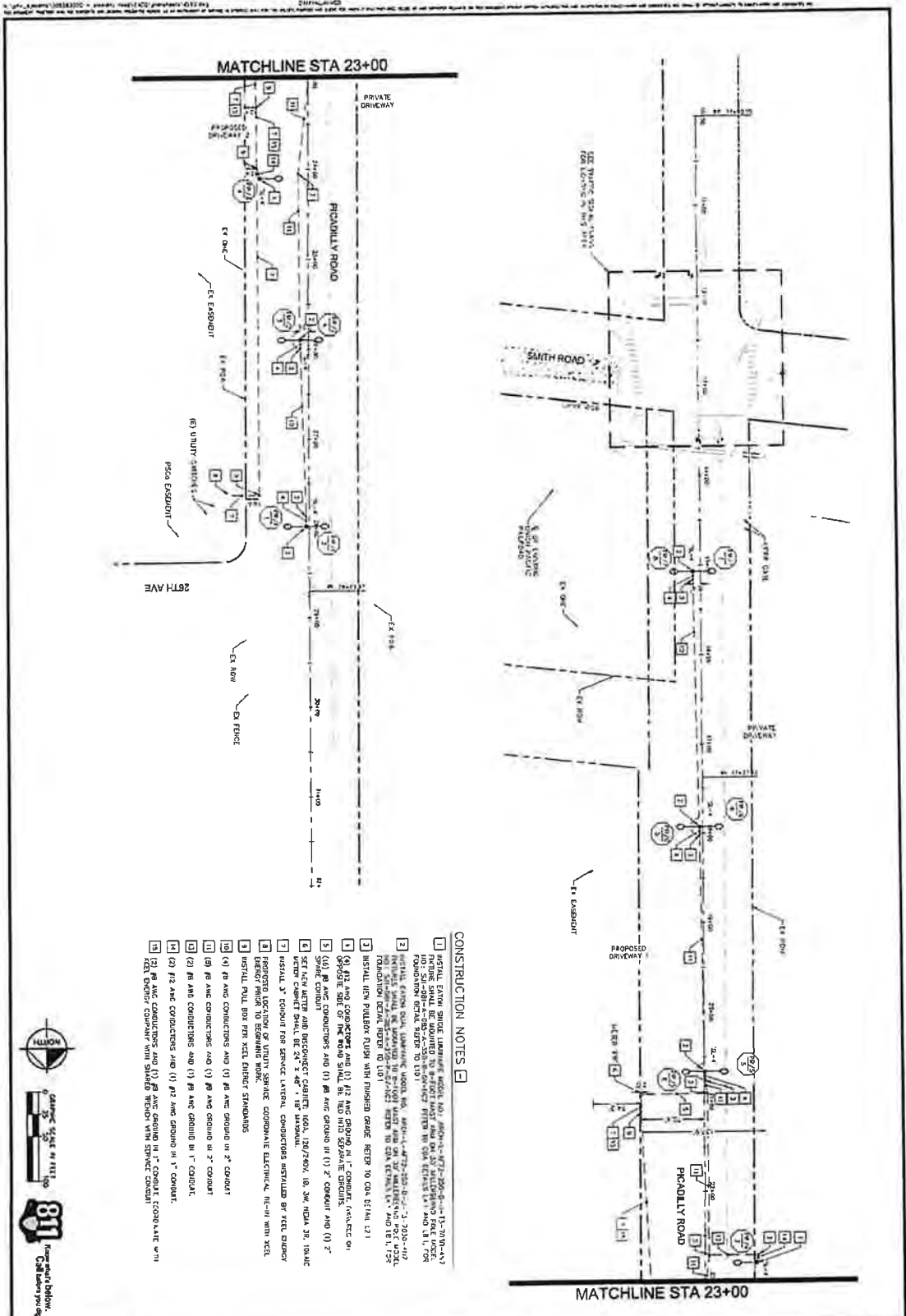
EXHIBIT A - DEFERRED ROADWAY IMPROVEMENTS
SHEET 33 OF 48



CITY OF AURORA
AURORA COMMERCE CENTER SUBDIVISION FILING NO. 3
PICADILLY ROAD IMPROVEMENTS
PHOTOMETRICS PLAN

Kimley»Horn
KIMLEY-HORN AND ASSOCIATES, INC.
4382 SOUTH ULSTER STREET SUITE 1500
DENVER, COLORADO 80237 (303) 736-2300

NO	REVISION	BY	DATE



CONSTRUCTION NOTES

- 1 INSTALL EXISTING SERVICE UNDERGROUND CABLES TO THE PROPOSED MANHOLES AND ELECTRICAL CABINETS. THE SERVICE SHALL BE 3" DIA. 600V XLPE INSULATED CABLE WITH 1/2" DIA. 600V XLPE INSULATED GROUNDING CONDUCTOR. THE SERVICE SHALL BE INSTALLED TO THE PROPOSED MANHOLES AND ELECTRICAL CABINETS AT THE PROPOSED LOCATIONS. THE SERVICE SHALL BE INSTALLED TO THE PROPOSED MANHOLES AND ELECTRICAL CABINETS AT THE PROPOSED LOCATIONS.
- 2 INSTALL NEW 4" DIA. 600V XLPE INSULATED CABLE WITH 1/2" DIA. 600V XLPE INSULATED GROUNDING CONDUCTOR. THE CABLE SHALL BE INSTALLED TO THE PROPOSED MANHOLES AND ELECTRICAL CABINETS AT THE PROPOSED LOCATIONS. THE CABLE SHALL BE INSTALLED TO THE PROPOSED MANHOLES AND ELECTRICAL CABINETS AT THE PROPOSED LOCATIONS.
- 3 SET NEW METAL AND DIELECTRIC CABLES TO THE PROPOSED MANHOLES AND ELECTRICAL CABINETS AT THE PROPOSED LOCATIONS. THE CABLES SHALL BE INSTALLED TO THE PROPOSED MANHOLES AND ELECTRICAL CABINETS AT THE PROPOSED LOCATIONS.
- 4 INSTALL 2" CONDUIT FOR SERVICE LATERAL CONDUCTORS INSTALLED BY XCEL ENERGY. THE CONDUIT SHALL BE INSTALLED TO THE PROPOSED MANHOLES AND ELECTRICAL CABINETS AT THE PROPOSED LOCATIONS.
- 5 INSTALL 2" CONDUIT FOR SERVICE LATERAL CONDUCTORS INSTALLED BY XCEL ENERGY. THE CONDUIT SHALL BE INSTALLED TO THE PROPOSED MANHOLES AND ELECTRICAL CABINETS AT THE PROPOSED LOCATIONS.
- 6 INSTALL 2" CONDUIT FOR SERVICE LATERAL CONDUCTORS INSTALLED BY XCEL ENERGY. THE CONDUIT SHALL BE INSTALLED TO THE PROPOSED MANHOLES AND ELECTRICAL CABINETS AT THE PROPOSED LOCATIONS.
- 7 INSTALL 2" CONDUIT FOR SERVICE LATERAL CONDUCTORS INSTALLED BY XCEL ENERGY. THE CONDUIT SHALL BE INSTALLED TO THE PROPOSED MANHOLES AND ELECTRICAL CABINETS AT THE PROPOSED LOCATIONS.
- 8 INSTALL 2" CONDUIT FOR SERVICE LATERAL CONDUCTORS INSTALLED BY XCEL ENERGY. THE CONDUIT SHALL BE INSTALLED TO THE PROPOSED MANHOLES AND ELECTRICAL CABINETS AT THE PROPOSED LOCATIONS.
- 9 INSTALL 2" CONDUIT FOR SERVICE LATERAL CONDUCTORS INSTALLED BY XCEL ENERGY. THE CONDUIT SHALL BE INSTALLED TO THE PROPOSED MANHOLES AND ELECTRICAL CABINETS AT THE PROPOSED LOCATIONS.
- 10 (1) #12 AWC CONDUCTORS AND (1) #12 AWC GROUND IN 2" CONDUIT
- 11 (1) #12 AWC CONDUCTORS AND (1) #12 AWC GROUND IN 2" CONDUIT
- 12 (1) #12 AWC CONDUCTORS AND (1) #12 AWC GROUND IN 2" CONDUIT
- 13 (1) #12 AWC CONDUCTORS AND (1) #12 AWC GROUND IN 2" CONDUIT
- 14 (1) #12 AWC CONDUCTORS AND (1) #12 AWC GROUND IN 2" CONDUIT
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- 48 (1) #12 AWC CONDUCTORS AND (1) #12 AWC GROUND IN 2" CONDUIT
- 49 (1) #12 AWC CONDUCTORS AND (1) #12 AWC GROUND IN 2" CONDUIT
- 50 (1) #12 AWC CONDUCTORS AND (1) #12 AWC GROUND IN 2" CONDUIT

APPROVED ON 07/12/2021

EXHIBIT A - DEFERRED ROADWAY IMPROVEMENTS SHEET 34 OF 48



PROJECT NO. 2021-001
 SHEET NO. 40

Kimley Horn
 CONSULTING ENGINEERS

CITY OF AURORA
 AURORA COMMERCE CENTER SUBDIVISION FILING NO. 3
 PICADILLY ROAD IMPROVEMENTS
 ELECTRICAL PLAN

REVISION BY: [Blank]
 CHECKED BY: [Blank]
 DATE: [Blank]

Kimley Horn
 4442 SOUTH ILLINOIS STREET, SUITE 200
 CHICAGO, ILLINOIS 60632 (312) 226-2100

NO.	REVISION	BY	DATE

PANEL #18
 PANEL VOLTAGE: 480V
 PANEL TYPE: 3500 AMP, 480V, 3PH, 3W, 4W, 5W, 6W, 7W, 8W, 9W, 10W, 11W, 12W, 13W, 14W, 15W, 16W, 17W, 18W, 19W, 20W, 21W, 22W, 23W, 24W, 25W, 26W, 27W, 28W, 29W, 30W, 31W, 32W, 33W, 34W, 35W, 36W, 37W, 38W, 39W, 40W, 41W, 42W, 43W, 44W, 45W, 46W, 47W, 48W, 49W, 50W, 51W, 52W, 53W, 54W, 55W, 56W, 57W, 58W, 59W, 60W, 61W, 62W, 63W, 64W, 65W, 66W, 67W, 68W, 69W, 70W, 71W, 72W, 73W, 74W, 75W, 76W, 77W, 78W, 79W, 80W, 81W, 82W, 83W, 84W, 85W, 86W, 87W, 88W, 89W, 90W, 91W, 92W, 93W, 94W, 95W, 96W, 97W, 98W, 99W, 100W

LOADS:
 LIGHTING: 1000 VA
 RECEPTACLES: 1000 VA
 MOTORS: 1000 VA
 TRANSFORMERS: 1000 VA
 OTHER: 1000 VA

WIRING:
 120V, 240V, 480V
 1PH, 3PH, 4W, 5W, 6W, 7W, 8W, 9W, 10W, 11W, 12W, 13W, 14W, 15W, 16W, 17W, 18W, 19W, 20W, 21W, 22W, 23W, 24W, 25W, 26W, 27W, 28W, 29W, 30W, 31W, 32W, 33W, 34W, 35W, 36W, 37W, 38W, 39W, 40W, 41W, 42W, 43W, 44W, 45W, 46W, 47W, 48W, 49W, 50W, 51W, 52W, 53W, 54W, 55W, 56W, 57W, 58W, 59W, 60W, 61W, 62W, 63W, 64W, 65W, 66W, 67W, 68W, 69W, 70W, 71W, 72W, 73W, 74W, 75W, 76W, 77W, 78W, 79W, 80W, 81W, 82W, 83W, 84W, 85W, 86W, 87W, 88W, 89W, 90W, 91W, 92W, 93W, 94W, 95W, 96W, 97W, 98W, 99W, 100W

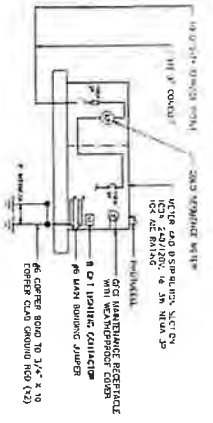
A PICADILLY ROAD PANEL SCHEDULE
NOT TO SCALE

SEE THE PANEL & N.W.S. SCHEDULES FOR WIRING INSTALLATION AND SIZE

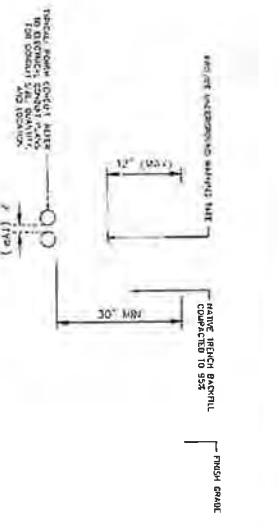
Panel	Location	Panel Type	Panel Voltage	Panel Amps	Panel Phases	Panel Wires	Panel Notes
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VOLTAGE DROP CALCULATIONS ARE BASED ON CONSERVATIVE LOAD FACTORS. VOLTAGE DROP CALCULATIONS SUBJECT TO UL, IEC & IEEE STANDARDS.

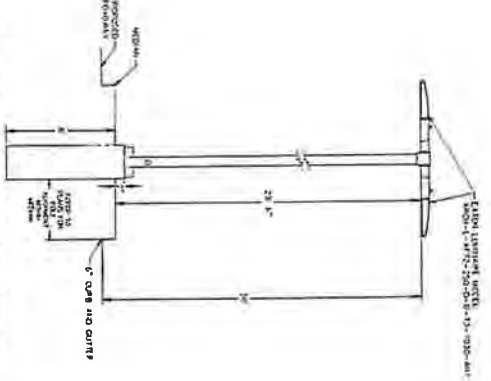
B VOLTAGE DROP & FAULT CURRENT
NOT TO SCALE



C SINGLE LINE DIAGRAM
NOT TO SCALE



D TRENCH DETAIL
NOT TO SCALE



F LUMINAIRE ELEVATION DETAIL
NOT TO SCALE

APPROVED ON 07/12/2021

EXHIBIT A - DEFERRED ROADWAY IMPROVEMENTS
SHEET 35 OF 48

Kimley Horn
 1500 SOUTH MILNER STREET, SUITE 1000
 DENVER, COLORADO 80202 (303) 733-2100

REVISION

DATE

BY

NO.

811
 City of Aurora
 Engineering

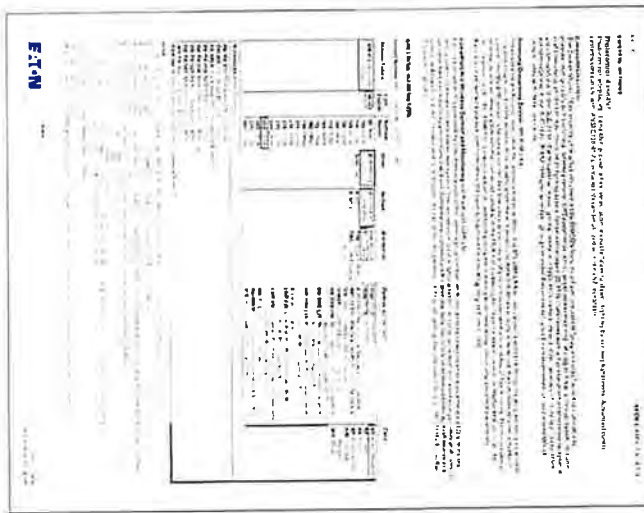
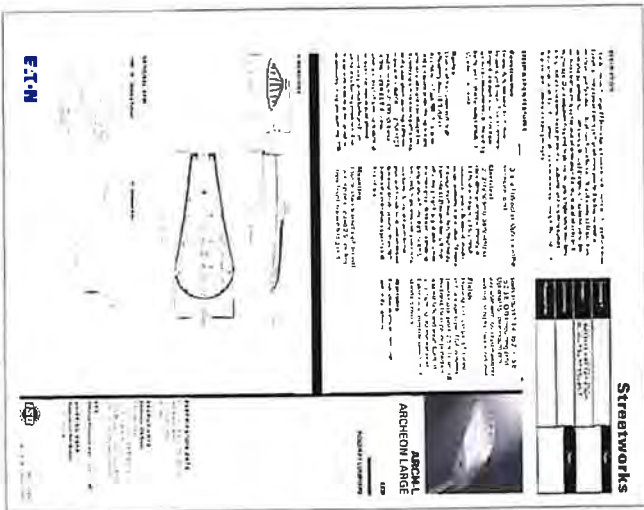
REPORT NO.
 2020-02-01

PROJECT NO.
 41

CITY OF AURORA
 AURORA COMMERCE CENTER SUBDIVISION FILING NO. 3
 PICADILLY ROAD IMPROVEMENTS
 ELECTRICAL DETAILS

RECEIVED BY OR
 DELETED BY OR
 DATE APPROVED

A STREET LIGHTING FIXTURE DETAIL
NOT TO SCALE



APPROVED ON 07/12/2021

EXHIBIT A - DEFERRED ROADWAY IMPROVEMENTS
SHEET 36 OF 48



811 Before You Dig Call before you dig	REVISION NO. 1 DATE:
	REVISION NO. 2 DATE:
REVISION NO. 3 DATE:	REVISION NO. 4 DATE:
REVISION NO. 5 DATE:	REVISION NO. 6 DATE:

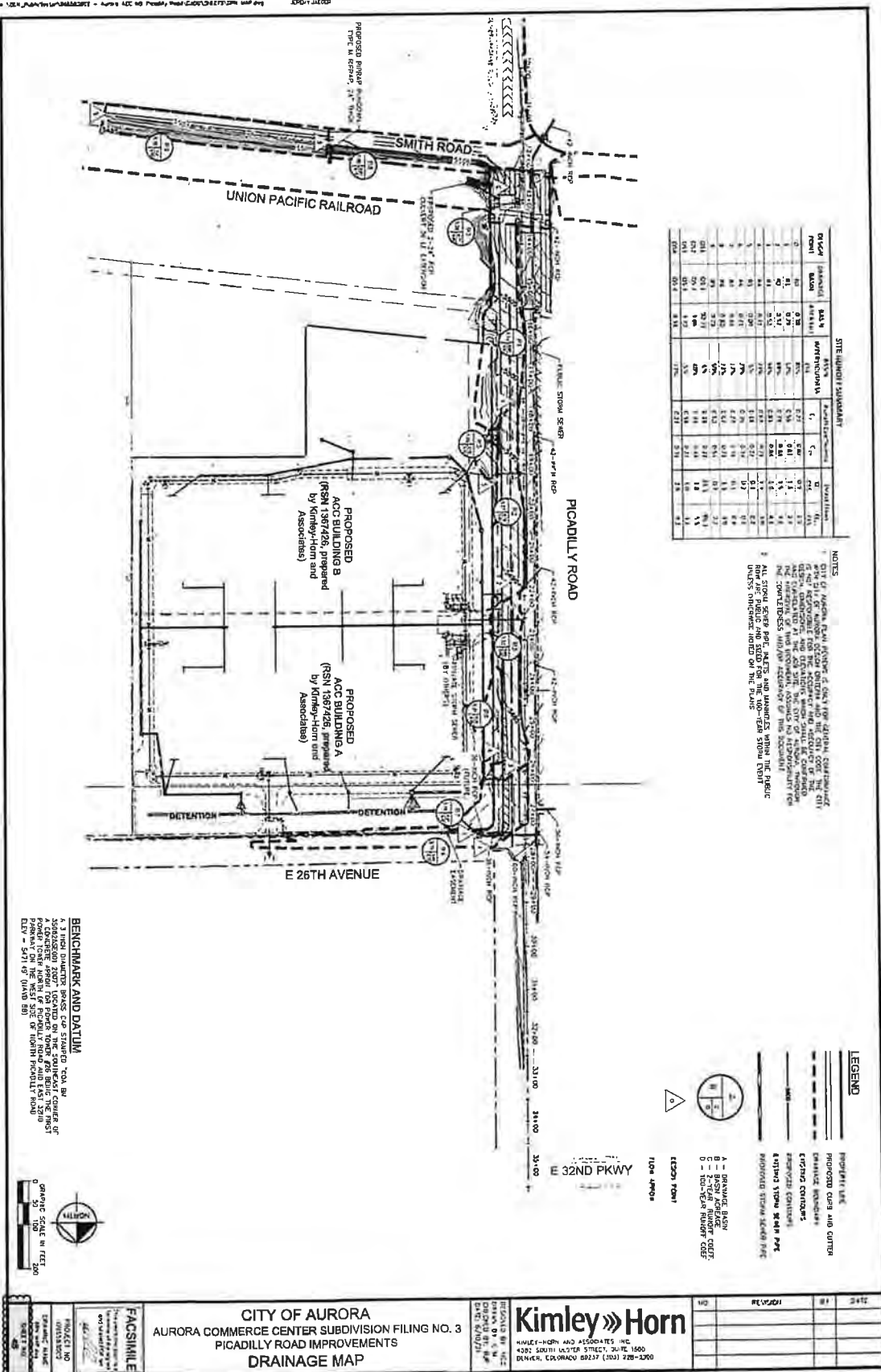
CITY OF AURORA
 AURORA COMMERCE CENTER SUBDIVISION FILING NO. 3
 PICADILLY ROAD IMPROVEMENTS
 ELECTRICAL DETAILS

Kimley»Horn
 Kimley-Horn and Associates, Inc.
 4582 SOUTH WALTON STREET, SUITE 1500
 DENVER, COLORADO 80227 (303) 538-2500

REGISTERED PROFESSIONAL ENGINEER
 STATE OF COLORADO
 NO. 10000

FACSIMILE
 THE FOLLOWING INFORMATION IS A TRUE AND CORRECT COPY OF THE ORIGINAL AS SUBMITTED TO THE CITY OF AURORA.

PROJECT NO. 221219
 SHEET NO. 36 OF 48



APPROVED ON 07/12/2021

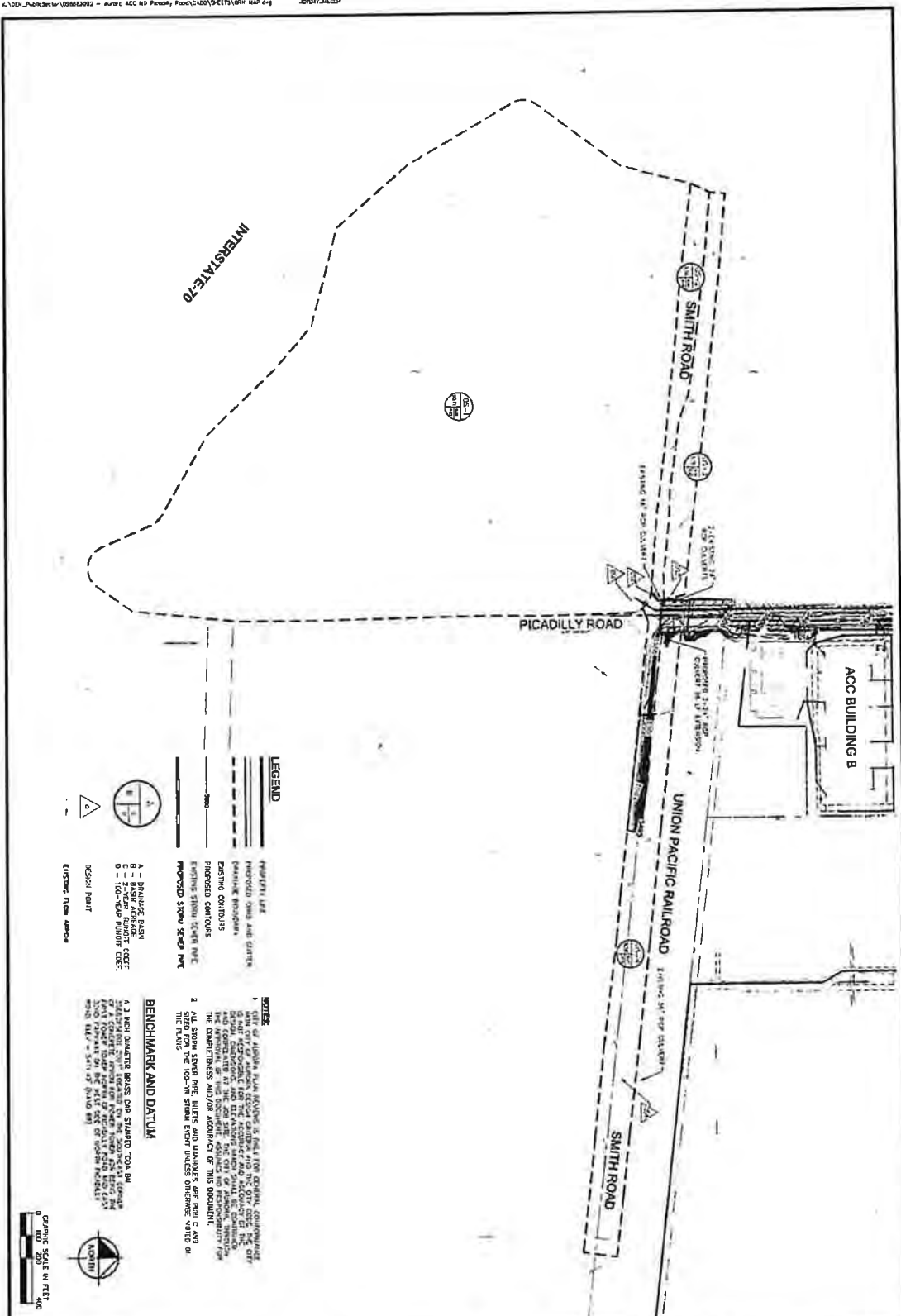
EXHIBIT A - DEFERRED ROADWAY IMPROVEMENTS SHEET 37 OF 48

CITY OF AURORA
 AURORA COMMERCE CENTER SUBDIVISION FILING NO. 3
 PICADILLY ROAD IMPROVEMENTS
 DRAINAGE MAP

Kimley Horn
 KIMLEY-HORN AND ASSOCIATES, INC.
 3055 SOUTH LOCUST STREET, SUITE 1600
 DENVER, COLORADO 80227 (303) 733-2200

REVISIONS
 NO. DESCRIPTION
 1. 07/12/2021

DATE: 07/12/2021
 DRAWN BY: [Name]
 CHECKED BY: [Name]
 SCALE: AS SHOWN
 SHEET NO. 37 OF 48



APPROVED ON 07/12/2021

EXHIBIT A - DEFERRED ROADWAY IMPROVEMENTS SHEET 38 OF 48

PROJECT NO. DRAWING SCALE SHEET NO. 47	FACSIMILE This drawing is a facsimile of the original drawing. It is not to be used for construction purposes.	CITY OF AURORA AURORA COMMERCE CENTER SUBDIVISION FILING NO. 3 PICADILLY ROAD IMPROVEMENTS DRAINAGE MAP - OFF SITE	Kimley»Horn KIMLEY-HORN AND ASSOCIATES, INC. 2582 SOUTH WASHINGTON STREET, SUITE 1000 DENVER, COLORADO 80227 (303) 728-2300	NO.	DATE	REVISION

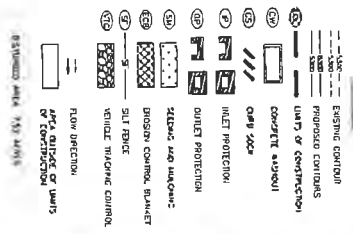
CITY OF AURORA EROSION CONTROL NOTES:

1. STANDARD EROSION CONTROL MEASURES SHALL BE PROVIDED TO PROTECT THE SOIL SURFACE FROM EROSION. EROSION CONTROL MEASURES SHALL BE INSTALLED AND MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD. EROSION CONTROL MEASURES SHALL BE INSTALLED AND MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD. EROSION CONTROL MEASURES SHALL BE INSTALLED AND MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD.
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CONSTRUCTION SEQUENCE:

1. INITIAL SURVEY AND STAKE SETTING.
2. EROSION CONTROL MEASURES SHALL BE INSTALLED AND MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD.
3. EROSION CONTROL MEASURES SHALL BE INSTALLED AND MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD.
4. EROSION CONTROL MEASURES SHALL BE INSTALLED AND MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD.
5. EROSION CONTROL MEASURES SHALL BE INSTALLED AND MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD.
6. EROSION CONTROL MEASURES SHALL BE INSTALLED AND MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD.
7. EROSION CONTROL MEASURES SHALL BE INSTALLED AND MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD.

LEGEND



APPROVED ON 07/12/2021

EXHIBIT A - DEFERRED ROADWAY IMPROVEMENTS SHEET 39 OF 48

CITY OF AURORA
 AURORA COMMERCE CENTER SUBDIVISION FILING NO. 3
 PICADILLY ROAD IMPROVEMENTS
 STORM WATER MANAGEMENT NOTES

Kimley Horn
 KIMLEY-HORN AND ASSOCIATES, INC.
 100 SOUTH WASHINGTON STREET, SUITE 200
 AURORA, ILLINOIS 60009
 TEL: 630.894.0900 FAX: 630.894.0901
 WWW.KIMLEY-HORN.COM

DESIGNED BY: JAC
 CHECKED BY: JAC
 DATE: 6/12/21

FACSIMILE
 1-800-368-5848
 1100 WEST 19TH AVENUE, SUITE 400
 DENVER, COLORADO 80202

SHEET NO. 39 OF 48

F:\2021_Plan\Aurora\066800021 - Aurora 450 RD Phas2\Road\GADD\SECTION\SECT-48

APPROVED ON 07/12/2021

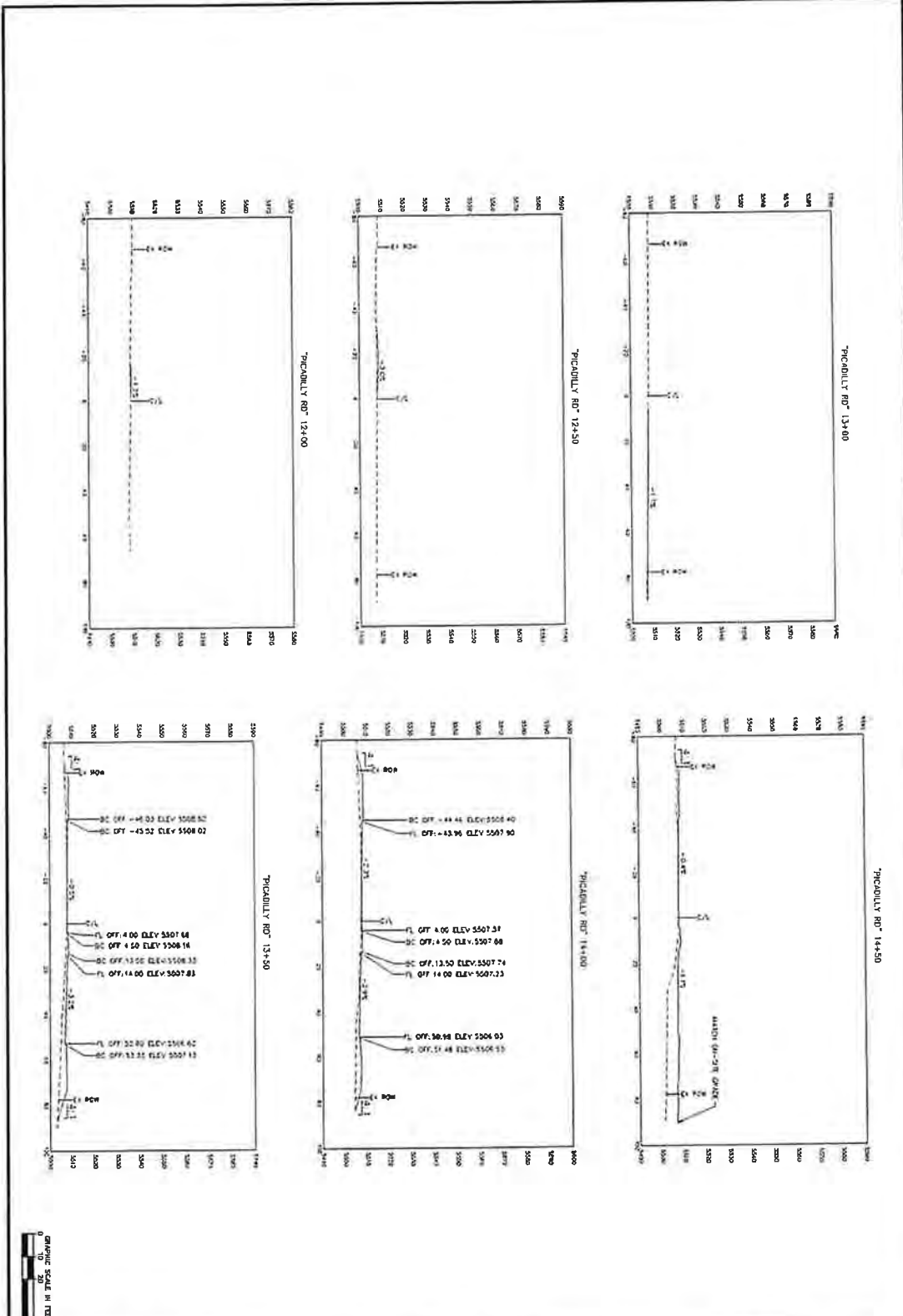


EXHIBIT A - DEFERRED ROADWAY IMPROVEMENTS
SHEET 40 OF 48

<p>GRAPHIC SCALE IN FEET 0 10 20 40</p>	<p>CITY OF AURORA AURORA COMMERCE CENTER SUBDIVISION FILING NO. 3 PICADILLY ROAD IMPROVEMENTS CROSS SECTIONS</p>	<p>Kimley Horn KIMLEY-HORN AND ASSOCIATES, INC. 4365 SOUTH GULFSTREAM STREET, SUITE 1300 DENVER, COLORADO 80237 (303) 733-1300</p>	<table border="1" style="width: 100%; border-collapse: collapse;"> <thead> <tr> <th style="width: 10%;">NO.</th> <th style="width: 40%;">REVISION</th> <th style="width: 10%;">BY</th> <th style="width: 40%;">DATE</th> </tr> </thead> <tbody> <tr> <td> </td> <td> </td> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> <td> </td> <td> </td> </tr> </tbody> </table>	NO.	REVISION	BY	DATE												
NO.	REVISION	BY	DATE																

APPROVED ON 07/12/2021

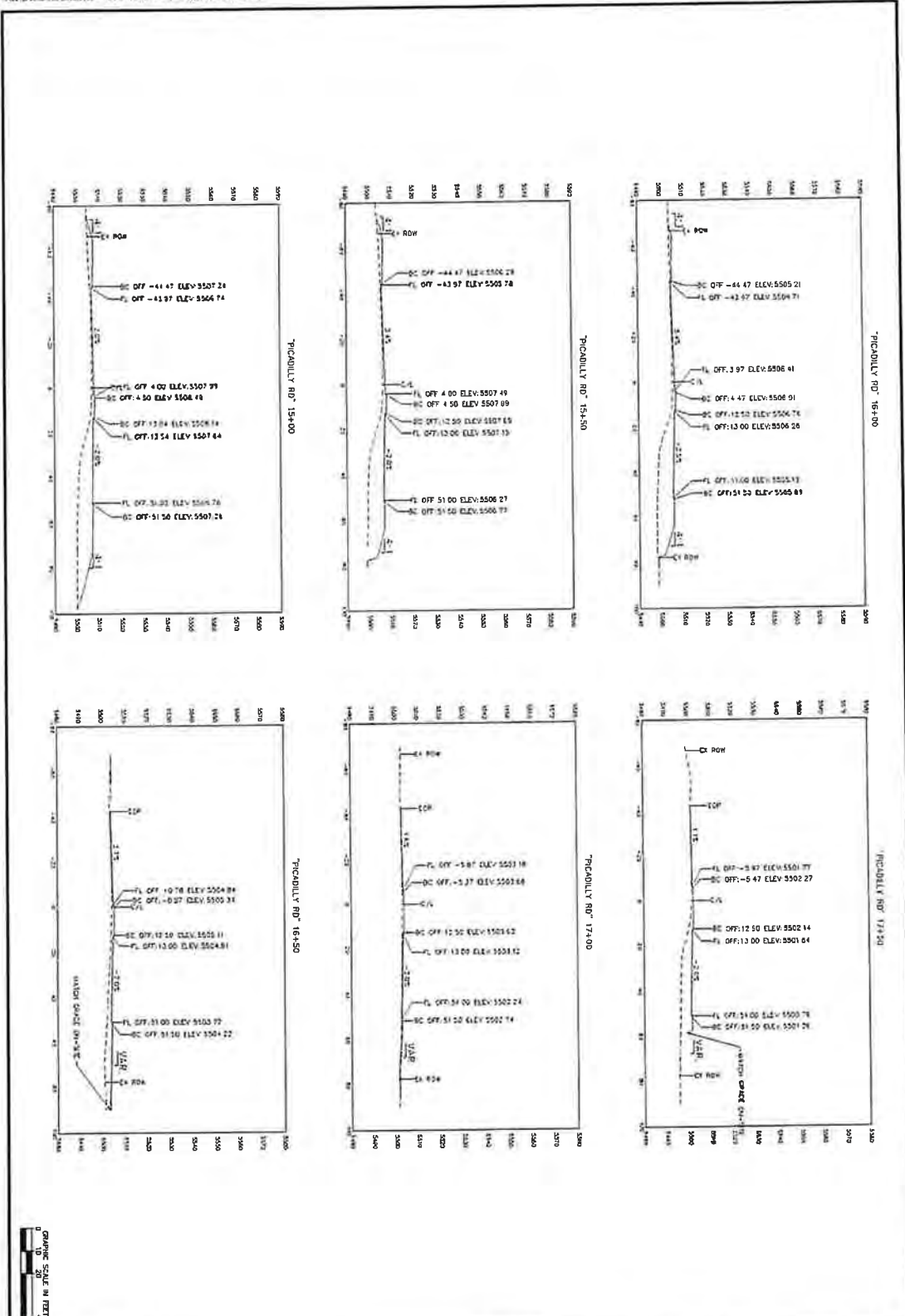


EXHIBIT A - DEFERRED ROADWAY IMPROVEMENTS SHEET 41 OF 48

CITY OF AURORA
 AURORA COMMERCE CENTER SUBDIVISION FILING NO. 3
 PICADILLY ROAD IMPROVEMENTS
 CROSS SECTIONS

Kimley»Horn
 KIMLEY-HORN AND ASSOCIATES, INC.
 4582 SOUTH WALTON STREET, SUITE 1500
 DENVER, COLORADO 80237 (303) 228-2300

NO	REVISION	BY	DATE

GRAPHIC SCALE IN FEET
 0 10 20
 0 10 20
 0 10 20

PROJECT NO. 2018-001
 DRAWING NAME CROSS SECTIONS
 SHEET NO. 41 OF 48

DESIGNED BY: JAC
 CHECKED BY: RJP
 DATE: 6/20/21

FACSIMILE

APPROVED ON 07/12/2021

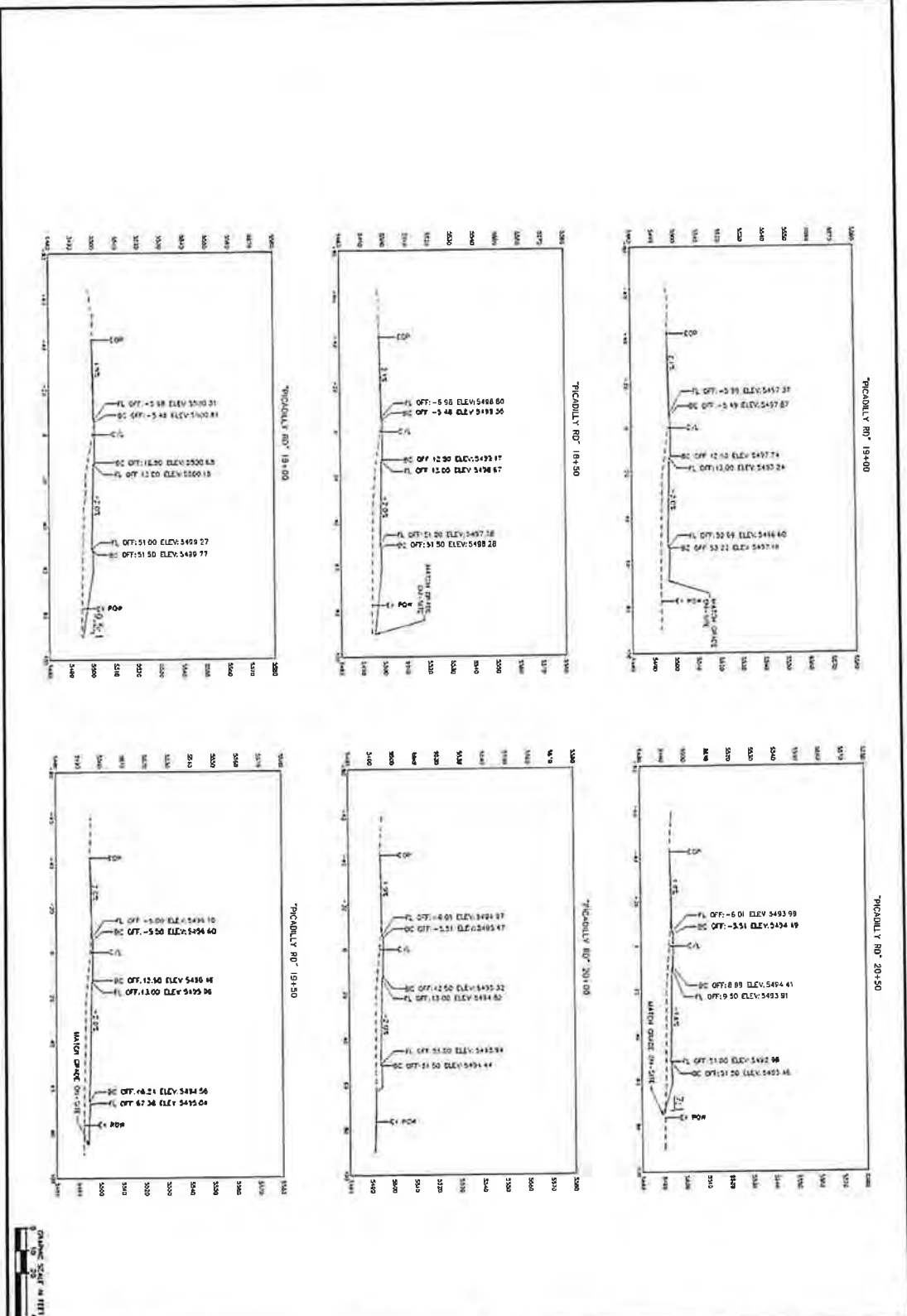


EXHIBIT A - DEFERRED ROADWAY IMPROVEMENTS
SHEET 42 OF 48

<p>DATE: _____</p> <p>BY: _____</p> <p>NO: _____</p>	<p>PROJECT: _____</p>	<p>CITY OF AURORA</p> <p>AURORA COMMERCE CENTER SUBDIVISION FILING NO. 3</p> <p>PICADILLY ROAD IMPROVEMENTS</p> <p>CROSS SECTIONS</p>		<p>Kimley»Horn</p> <p>INCORPORATED BY ACT OF LEGISLATURE</p> <p>4585 SOUTH WILLOW STREET, SUITE 1000</p> <p>DENVER, COLORADO 80221 (303) 733-2200</p>
		<p>DESIGNED BY: _____</p> <p>CHECKED BY: _____</p> <p>DRAWN BY: _____</p> <p>DATE: 6/20/21</p>		

X:\2021_Picadilly\06050301 - Aurora ACC UD Roadway Plan\1400\DWG\15\VTRC.dwg P:\IND\LAP

APPROVED ON 07/12/2021

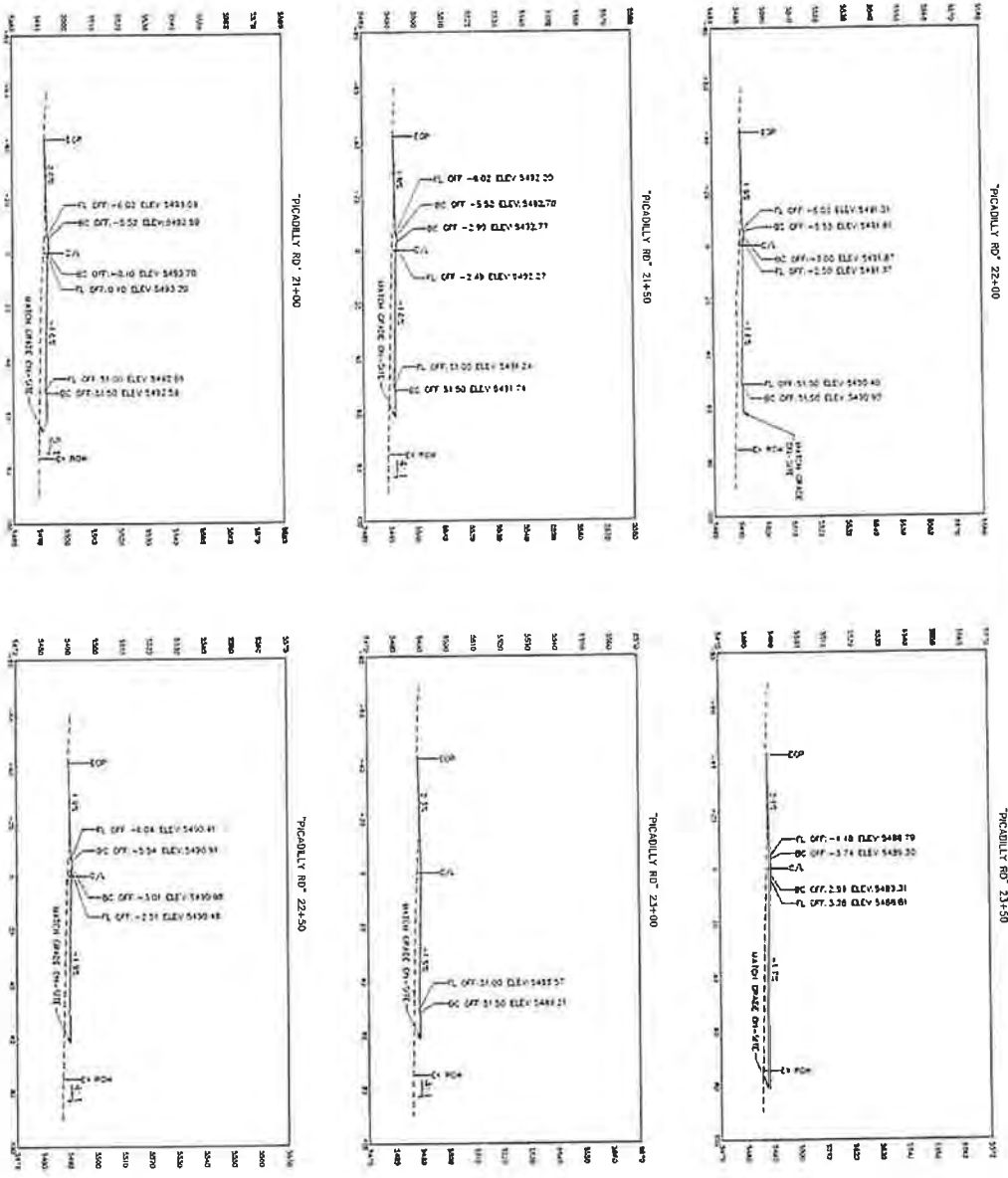


EXHIBIT A - DEFERRED ROADWAY IMPROVEMENTS SHEET 43 OF 48

DATE: 07/12/21
SCALE: AS SHOWN
SHEET NO. 43 OF 48

FACSIMILE
CITY OF AURORA
COMMUNITY DEVELOPMENT DEPARTMENT
400 EAST COLFAX AVENUE
AURORA, CO 80015
PHONE: 303.681.2000
FAX: 303.681.2001
WWW.AURORA.CO.GOV

CITY OF AURORA
AURORA COMMERCE CENTER SUBDIVISION FILING NO. 3
PICADILLY ROAD IMPROVEMENTS
CROSS SECTIONS

Kimley»Horn
KIMLEY-HORN AND ASSOCIATES, INC.
4582 SOUTH WALKER STREET, SUITE 1000
DENVER, COLORADO 80227 (303) 228-1300

NO.	REVISION	BY	DATE

K:\VED_P\addb\10\09050002 - Aurora VIC 40 Roadway North\0400104751\221219.rvt

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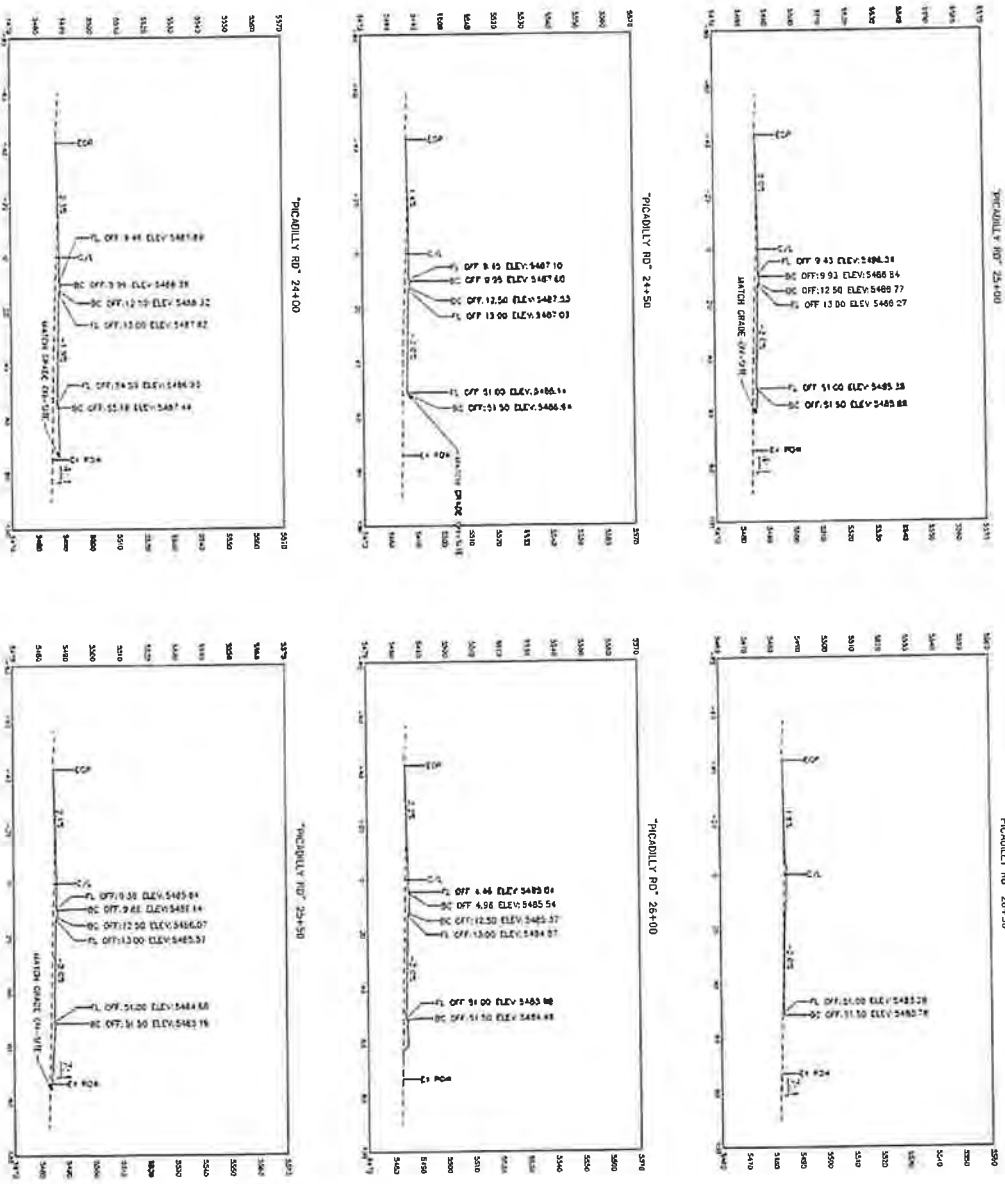


EXHIBIT A - DEFERRED ROADWAY IMPROVEMENTS SHEET 44 OF 48

DATE OF SHEET: 06/11/21
 SHEET NO: 44
 OF: 48

CITY OF AURORA
 AURORA COMMERCE CENTER SUBDIVISION FILING NO. 3
 PICADILLY ROAD IMPROVEMENTS
 CROSS SECTIONS

Kimley»Horn
 KIMLEY-HORN AND ASSOCIATES, INC.
 1502 SOUTH WILSON STREET, SUITE 1000
 DENVER, CO 80202 (303) 730-2300

NO.	REVISION	BY	DATE

K:\2021_Piccadilly\091824001 - Aurora Commerce Center Roadway Improvements\Drawings

APPROVED ON 07/12/2021

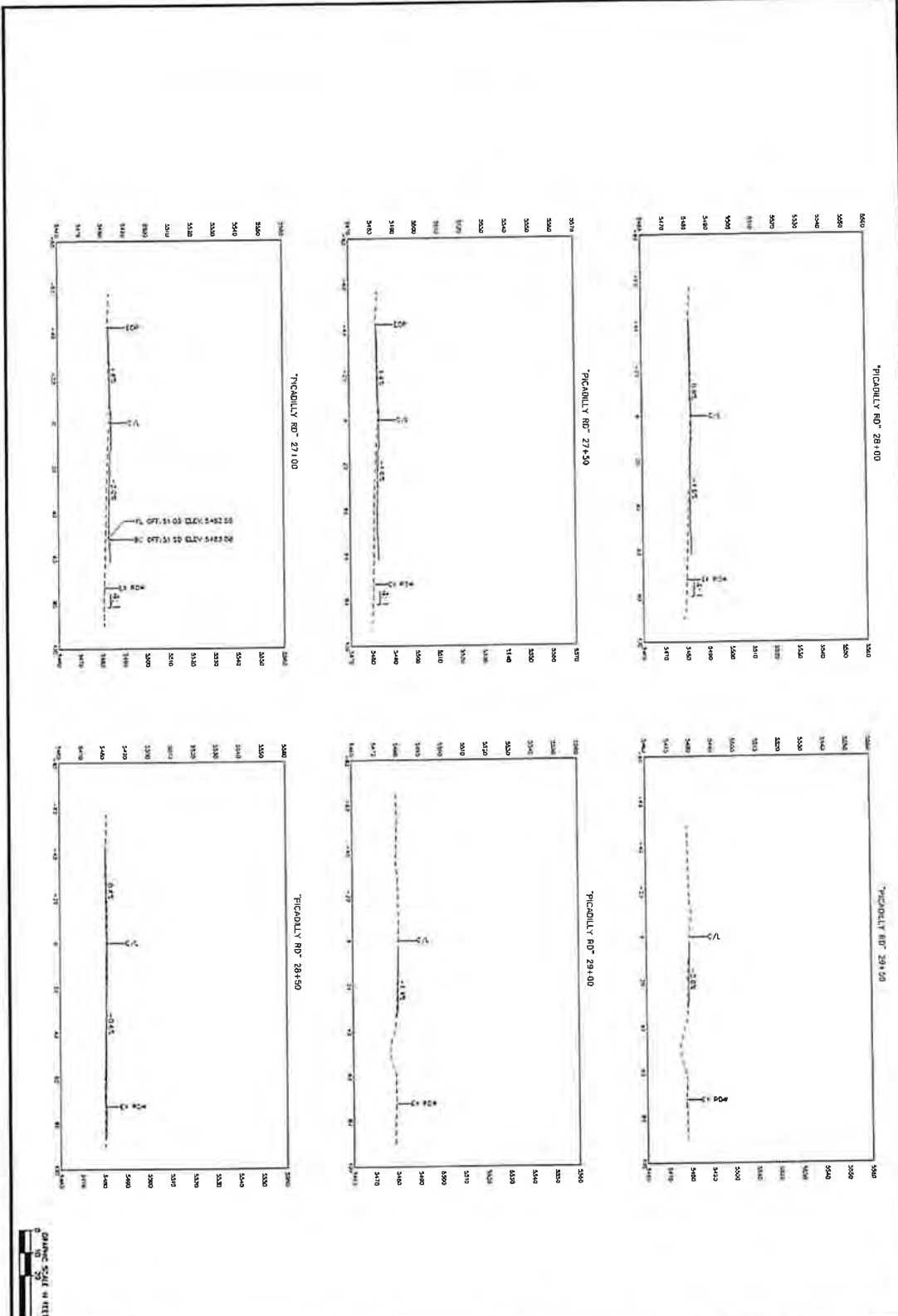


EXHIBIT A - DEFERRED ROADWAY IMPROVEMENTS
SHEET 45 OF 48

Graphic Scale of Feet
1" = 20'

PROJECT NO. 091824001
DATE 7/12/21

PROJECT NO. 091824001
DATE 7/12/21

CITY OF AURORA
AURORA COMMERCE CENTER SUBDIVISION FILING NO. 3
PICCADILLY ROAD IMPROVEMENTS
CROSS SECTIONS

Kimley»Horn
KIMLEY-HORN AND ASSOCIATES, INC.
1825 SOUTH KENNEDY BLVD., SUITE 200
DENVER, COLORADO 80227 (303) 733-2328

NO.	REVISION	BY	DATE

\\VCL_PERS\hsh\10882002 - Aurora ACC HD Possibly from\CAD\DWG\ETL\112512.dwg P:\BIO LAM

APPROVED ON 07/12/2021

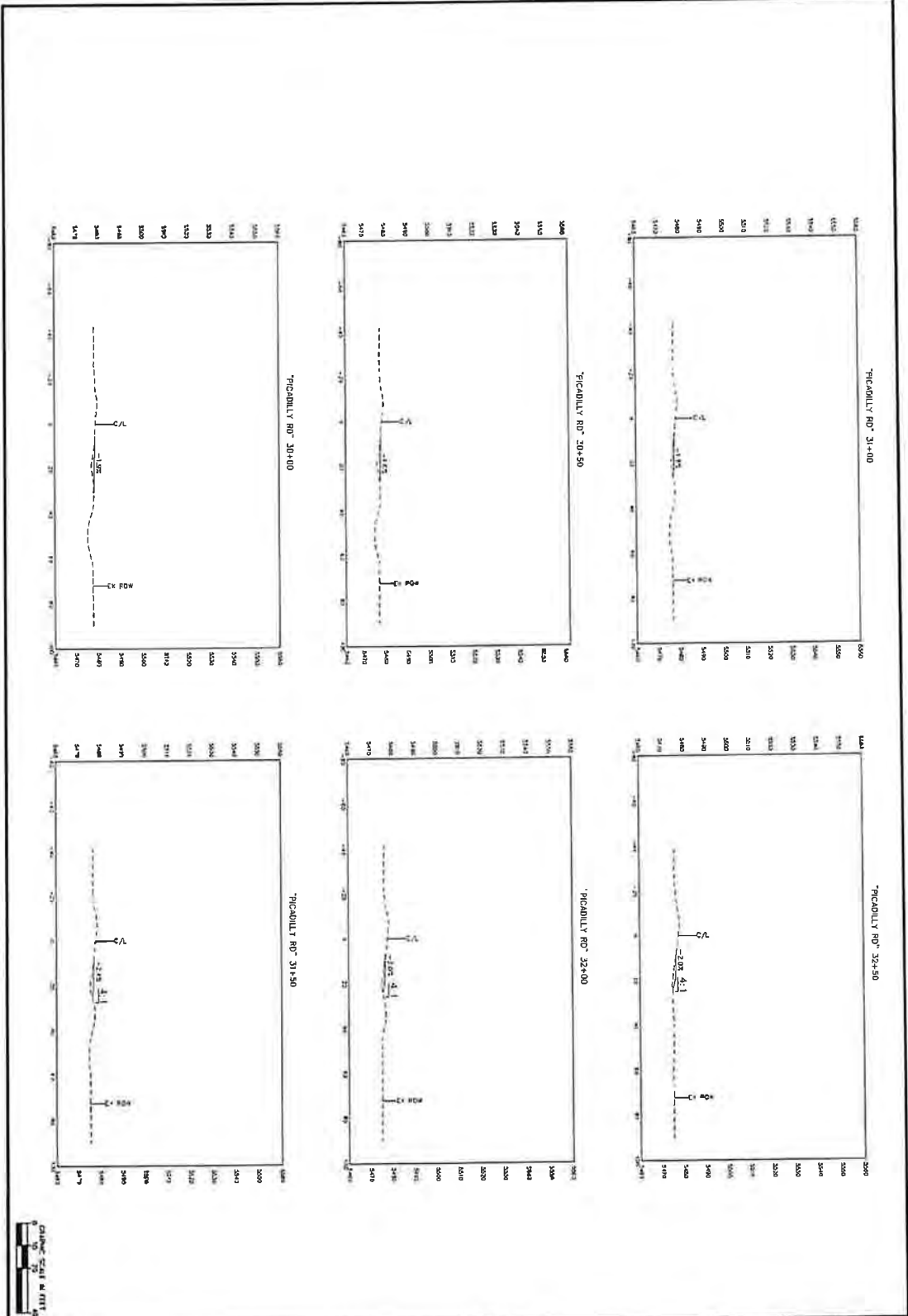


EXHIBIT A - DEFERRED ROADWAY IMPROVEMENTS
SHEET 46 OF 48

DATE: 07/12/21
SHEET NO: 59

FACSIMILE
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CITY OF AURORA
AURORA COMMERCE CENTER SUBDIVISION FILING NO. 3
PICADILLY ROAD IMPROVEMENTS
CROSS SECTIONS

Kimley Horn
Kimley-Horn and Associates, Inc.
4582 South Welsch Street, Suite 1000
Denver, Colorado 80237 (303) 733-2500

NO	REVISION	BY	DATE

N:\004_Plan\Aurora\06082021 - Aurora ICC HD Roadway Root\CAD\DWG\15161.dwg P:\BMD-LIN

APPROVED ON 07/12/2021

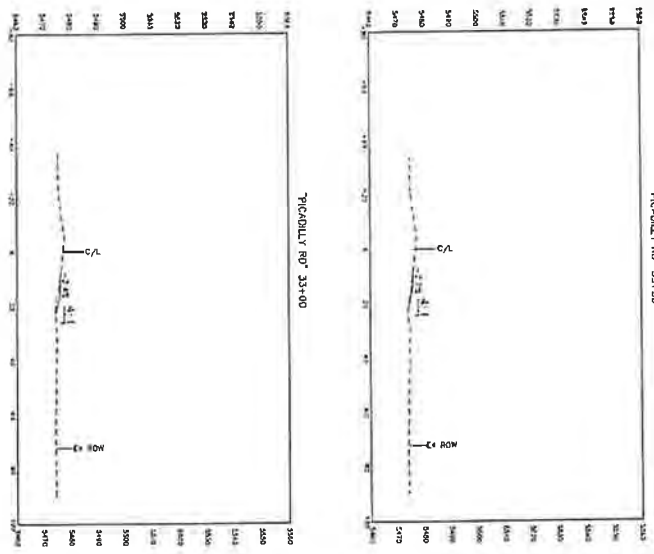


EXHIBIT A - DEFERRED ROADWAY IMPROVEMENTS
SHEET 47 OF 48

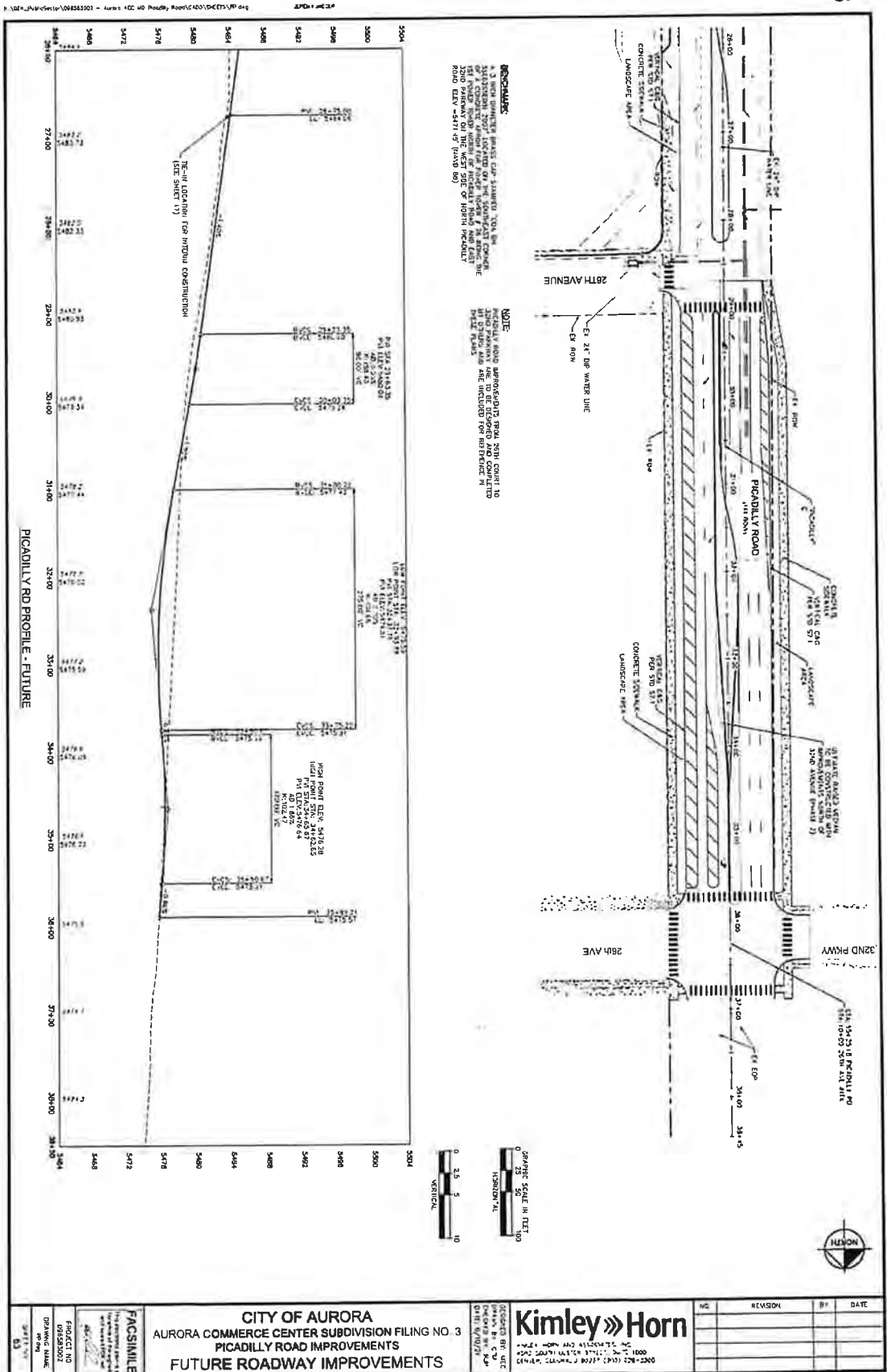


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CITY OF AURORA
 AURORA COMMERCE CENTER SUBDIVISION FILING NO. 3
 PICADILLY ROAD IMPROVEMENTS
 CROSS SECTIONS

Kimley»Horn
 PREPARED BY JMC
 CHECKED BY BAP
 DATE 5/10/21
 KIMLEY-HORN AND ASSOCIATES, INC.
 4582 SOUTH WILSON STREET, SUITE 1000
 DENVER, COLORADO 80237 (303) 328-2300

NO	REVISION	BY	DATE



APPROVED ON 07/12/2021

EXHIBIT A - DEFERRED ROADWAY IMPROVEMENTS SHEET 48 OF 48

CITY OF AURORA
 AURORA COMMERCE CENTER SUBDIVISION FILING NO. 3
 PICADILLY ROAD IMPROVEMENTS
 FUTURE ROADWAY IMPROVEMENTS

Kimley»Horn

PROJECT NO: 2021-001
 DATE: 07/12/2021

NO.	REVISION	BY	DATE

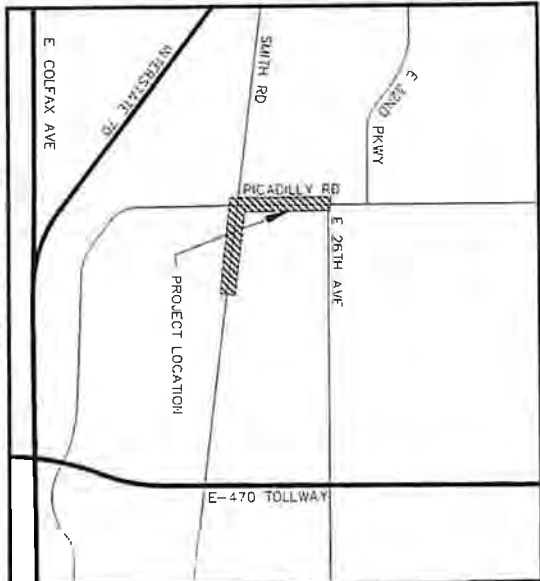
EXHIBIT B

Deferred Storm Improvements

CITY OF AURORA GENERAL NOTES

- 2012.02 ALL PUBLIC UTILITIES SHALL BE LOCATED AND DEPTH SHALL BE CONFIRMED BY THE CITY OF AURORA BEFORE ANY CONSTRUCTION BEGINS. THE CITY OF AURORA SHALL BE RESPONSIBLE FOR THE LOCATION AND DEPTH OF ALL PUBLIC UTILITIES. THE CITY OF AURORA SHALL BE RESPONSIBLE FOR THE LOCATION AND DEPTH OF ALL PUBLIC UTILITIES.
- 2012.03 ALL PUBLIC UTILITIES SHALL BE LOCATED AND DEPTH SHALL BE CONFIRMED BY THE CITY OF AURORA BEFORE ANY CONSTRUCTION BEGINS. THE CITY OF AURORA SHALL BE RESPONSIBLE FOR THE LOCATION AND DEPTH OF ALL PUBLIC UTILITIES. THE CITY OF AURORA SHALL BE RESPONSIBLE FOR THE LOCATION AND DEPTH OF ALL PUBLIC UTILITIES.
- 2012.04 ALL PUBLIC UTILITIES SHALL BE LOCATED AND DEPTH SHALL BE CONFIRMED BY THE CITY OF AURORA BEFORE ANY CONSTRUCTION BEGINS. THE CITY OF AURORA SHALL BE RESPONSIBLE FOR THE LOCATION AND DEPTH OF ALL PUBLIC UTILITIES. THE CITY OF AURORA SHALL BE RESPONSIBLE FOR THE LOCATION AND DEPTH OF ALL PUBLIC UTILITIES.
- 2012.05 ALL PUBLIC UTILITIES SHALL BE LOCATED AND DEPTH SHALL BE CONFIRMED BY THE CITY OF AURORA BEFORE ANY CONSTRUCTION BEGINS. THE CITY OF AURORA SHALL BE RESPONSIBLE FOR THE LOCATION AND DEPTH OF ALL PUBLIC UTILITIES. THE CITY OF AURORA SHALL BE RESPONSIBLE FOR THE LOCATION AND DEPTH OF ALL PUBLIC UTILITIES.
- 2012.06 ALL PUBLIC UTILITIES SHALL BE LOCATED AND DEPTH SHALL BE CONFIRMED BY THE CITY OF AURORA BEFORE ANY CONSTRUCTION BEGINS. THE CITY OF AURORA SHALL BE RESPONSIBLE FOR THE LOCATION AND DEPTH OF ALL PUBLIC UTILITIES. THE CITY OF AURORA SHALL BE RESPONSIBLE FOR THE LOCATION AND DEPTH OF ALL PUBLIC UTILITIES.
- 2012.07 ALL PUBLIC UTILITIES SHALL BE LOCATED AND DEPTH SHALL BE CONFIRMED BY THE CITY OF AURORA BEFORE ANY CONSTRUCTION BEGINS. THE CITY OF AURORA SHALL BE RESPONSIBLE FOR THE LOCATION AND DEPTH OF ALL PUBLIC UTILITIES. THE CITY OF AURORA SHALL BE RESPONSIBLE FOR THE LOCATION AND DEPTH OF ALL PUBLIC UTILITIES.
- 2012.08 ALL PUBLIC UTILITIES SHALL BE LOCATED AND DEPTH SHALL BE CONFIRMED BY THE CITY OF AURORA BEFORE ANY CONSTRUCTION BEGINS. THE CITY OF AURORA SHALL BE RESPONSIBLE FOR THE LOCATION AND DEPTH OF ALL PUBLIC UTILITIES. THE CITY OF AURORA SHALL BE RESPONSIBLE FOR THE LOCATION AND DEPTH OF ALL PUBLIC UTILITIES.
- 2012.09 ALL PUBLIC UTILITIES SHALL BE LOCATED AND DEPTH SHALL BE CONFIRMED BY THE CITY OF AURORA BEFORE ANY CONSTRUCTION BEGINS. THE CITY OF AURORA SHALL BE RESPONSIBLE FOR THE LOCATION AND DEPTH OF ALL PUBLIC UTILITIES. THE CITY OF AURORA SHALL BE RESPONSIBLE FOR THE LOCATION AND DEPTH OF ALL PUBLIC UTILITIES.
- 2012.10 ALL PUBLIC UTILITIES SHALL BE LOCATED AND DEPTH SHALL BE CONFIRMED BY THE CITY OF AURORA BEFORE ANY CONSTRUCTION BEGINS. THE CITY OF AURORA SHALL BE RESPONSIBLE FOR THE LOCATION AND DEPTH OF ALL PUBLIC UTILITIES. THE CITY OF AURORA SHALL BE RESPONSIBLE FOR THE LOCATION AND DEPTH OF ALL PUBLIC UTILITIES.
- 2012.11 ALL PUBLIC UTILITIES SHALL BE LOCATED AND DEPTH SHALL BE CONFIRMED BY THE CITY OF AURORA BEFORE ANY CONSTRUCTION BEGINS. THE CITY OF AURORA SHALL BE RESPONSIBLE FOR THE LOCATION AND DEPTH OF ALL PUBLIC UTILITIES. THE CITY OF AURORA SHALL BE RESPONSIBLE FOR THE LOCATION AND DEPTH OF ALL PUBLIC UTILITIES.
- 2012.12 ALL PUBLIC UTILITIES SHALL BE LOCATED AND DEPTH SHALL BE CONFIRMED BY THE CITY OF AURORA BEFORE ANY CONSTRUCTION BEGINS. THE CITY OF AURORA SHALL BE RESPONSIBLE FOR THE LOCATION AND DEPTH OF ALL PUBLIC UTILITIES. THE CITY OF AURORA SHALL BE RESPONSIBLE FOR THE LOCATION AND DEPTH OF ALL PUBLIC UTILITIES.
- 2012.13 ALL PUBLIC UTILITIES SHALL BE LOCATED AND DEPTH SHALL BE CONFIRMED BY THE CITY OF AURORA BEFORE ANY CONSTRUCTION BEGINS. THE CITY OF AURORA SHALL BE RESPONSIBLE FOR THE LOCATION AND DEPTH OF ALL PUBLIC UTILITIES. THE CITY OF AURORA SHALL BE RESPONSIBLE FOR THE LOCATION AND DEPTH OF ALL PUBLIC UTILITIES.
- 2012.14 ALL PUBLIC UTILITIES SHALL BE LOCATED AND DEPTH SHALL BE CONFIRMED BY THE CITY OF AURORA BEFORE ANY CONSTRUCTION BEGINS. THE CITY OF AURORA SHALL BE RESPONSIBLE FOR THE LOCATION AND DEPTH OF ALL PUBLIC UTILITIES. THE CITY OF AURORA SHALL BE RESPONSIBLE FOR THE LOCATION AND DEPTH OF ALL PUBLIC UTILITIES.
- 2012.15 ALL PUBLIC UTILITIES SHALL BE LOCATED AND DEPTH SHALL BE CONFIRMED BY THE CITY OF AURORA BEFORE ANY CONSTRUCTION BEGINS. THE CITY OF AURORA SHALL BE RESPONSIBLE FOR THE LOCATION AND DEPTH OF ALL PUBLIC UTILITIES. THE CITY OF AURORA SHALL BE RESPONSIBLE FOR THE LOCATION AND DEPTH OF ALL PUBLIC UTILITIES.
- 2012.16 ALL PUBLIC UTILITIES SHALL BE LOCATED AND DEPTH SHALL BE CONFIRMED BY THE CITY OF AURORA BEFORE ANY CONSTRUCTION BEGINS. THE CITY OF AURORA SHALL BE RESPONSIBLE FOR THE LOCATION AND DEPTH OF ALL PUBLIC UTILITIES. THE CITY OF AURORA SHALL BE RESPONSIBLE FOR THE LOCATION AND DEPTH OF ALL PUBLIC UTILITIES.
- 2012.17 ALL PUBLIC UTILITIES SHALL BE LOCATED AND DEPTH SHALL BE CONFIRMED BY THE CITY OF AURORA BEFORE ANY CONSTRUCTION BEGINS. THE CITY OF AURORA SHALL BE RESPONSIBLE FOR THE LOCATION AND DEPTH OF ALL PUBLIC UTILITIES. THE CITY OF AURORA SHALL BE RESPONSIBLE FOR THE LOCATION AND DEPTH OF ALL PUBLIC UTILITIES.
- 2012.18 ALL PUBLIC UTILITIES SHALL BE LOCATED AND DEPTH SHALL BE CONFIRMED BY THE CITY OF AURORA BEFORE ANY CONSTRUCTION BEGINS. THE CITY OF AURORA SHALL BE RESPONSIBLE FOR THE LOCATION AND DEPTH OF ALL PUBLIC UTILITIES. THE CITY OF AURORA SHALL BE RESPONSIBLE FOR THE LOCATION AND DEPTH OF ALL PUBLIC UTILITIES.
- 2012.19 ALL PUBLIC UTILITIES SHALL BE LOCATED AND DEPTH SHALL BE CONFIRMED BY THE CITY OF AURORA BEFORE ANY CONSTRUCTION BEGINS. THE CITY OF AURORA SHALL BE RESPONSIBLE FOR THE LOCATION AND DEPTH OF ALL PUBLIC UTILITIES. THE CITY OF AURORA SHALL BE RESPONSIBLE FOR THE LOCATION AND DEPTH OF ALL PUBLIC UTILITIES.
- 2012.20 ALL PUBLIC UTILITIES SHALL BE LOCATED AND DEPTH SHALL BE CONFIRMED BY THE CITY OF AURORA BEFORE ANY CONSTRUCTION BEGINS. THE CITY OF AURORA SHALL BE RESPONSIBLE FOR THE LOCATION AND DEPTH OF ALL PUBLIC UTILITIES. THE CITY OF AURORA SHALL BE RESPONSIBLE FOR THE LOCATION AND DEPTH OF ALL PUBLIC UTILITIES.

CITY OF AURORA
AURORA COMMERCE CENTER SUBDIVISION FILING NO. 3
PICADILLY ROAD AND SMITH ROAD IMPROVEMENTS -
SMITH ROAD TO 32ND PARKWAY
ADAMS COUNTY, CITY OF AURORA, COLORADO



SHEET INDEX

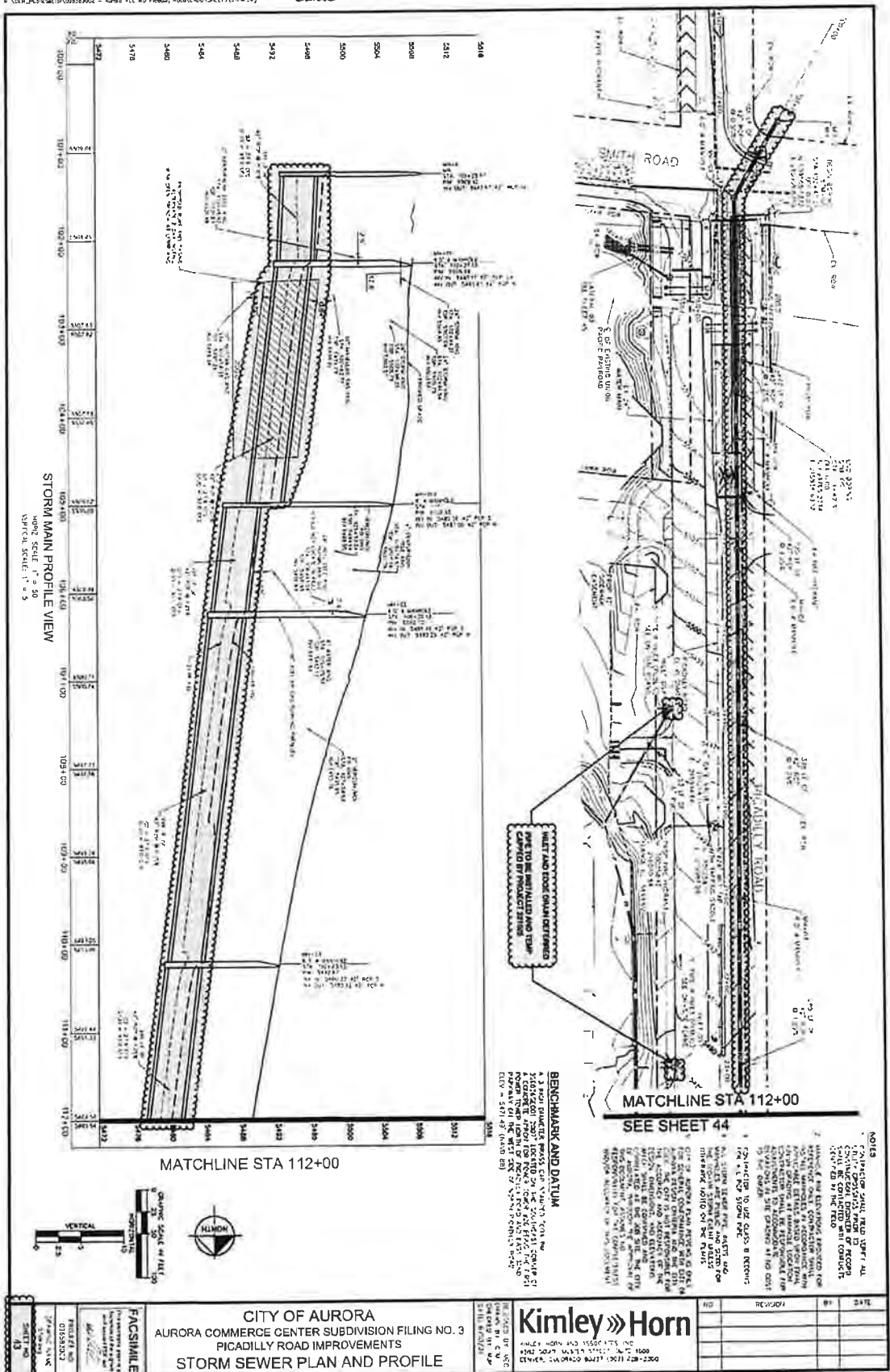
No.	Sheet Description
1	COVER SHEET
2	GENERAL NOTES
3	UTILITY NOTES
4	SMITH ROAD IMPROVEMENTS
5	PICADILLY ROAD IMPROVEMENTS
6	SMITH ROAD TO 32ND PARKWAY IMPROVEMENTS
7	ADAMS COUNTY RECORD DRAWING

CIVIL ENGINEER
 5452 E WAGON STREET, SUITE 300
 DENVER, CO 80220
 PHONE: (303) 545-5460
 CONTRACT: JAVT DAWSON, P.E.

APPROVED BY *[Signature]* 07/10/2021
APPROVED BY *[Signature]* 07/10/2021

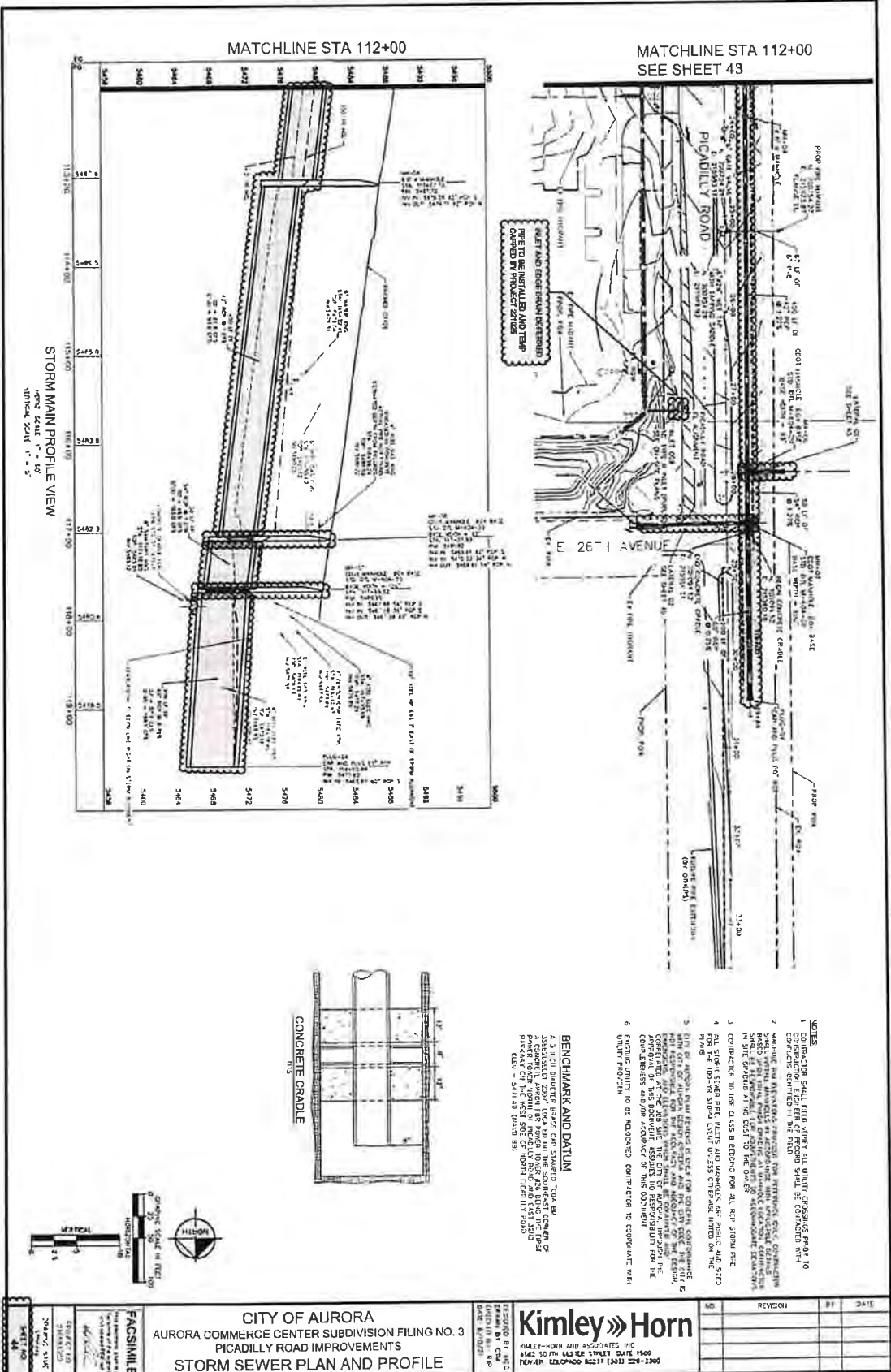
CITY OF AURORA
 AURORA COMMERCE CENTER SUBDIVISION FILING NO. 3
 PICADILLY ROAD IMPROVEMENTS
 COVER SHEET

Kimley Horn
 KIMLEY-HORN AND ASSOCIATES, INC.
 425 S. MAIN STREET, SUITE 100
 DENVER, COLORADO 80202 (303) 278-2300



APPROVED ON 07/12/2021

EXHIBIT B - DEFERRED STORM IMPROVEMENTS
SHEET 3 OF 5

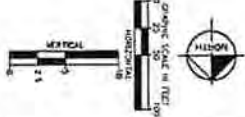
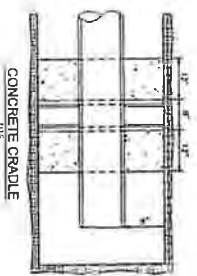


APPROVED ON 07/12/2021

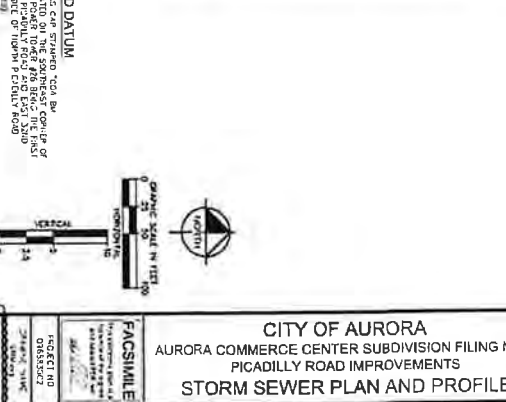
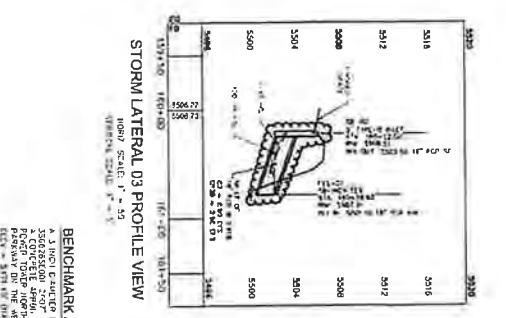
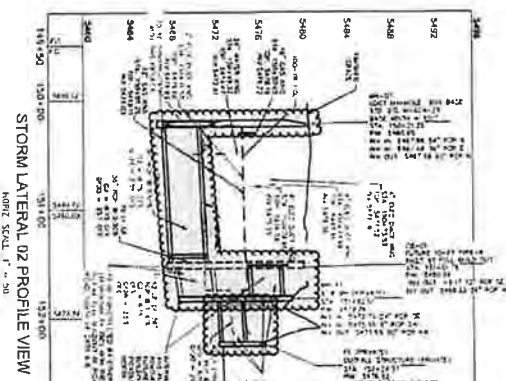
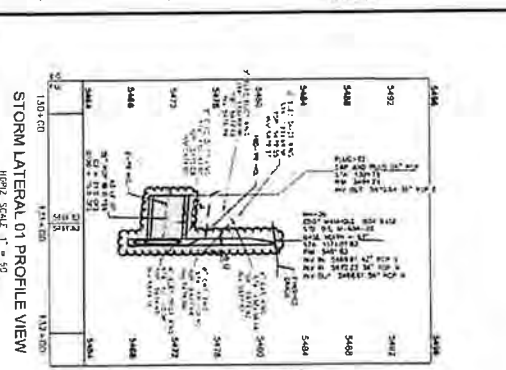
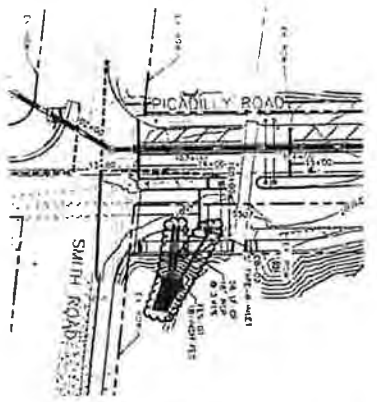
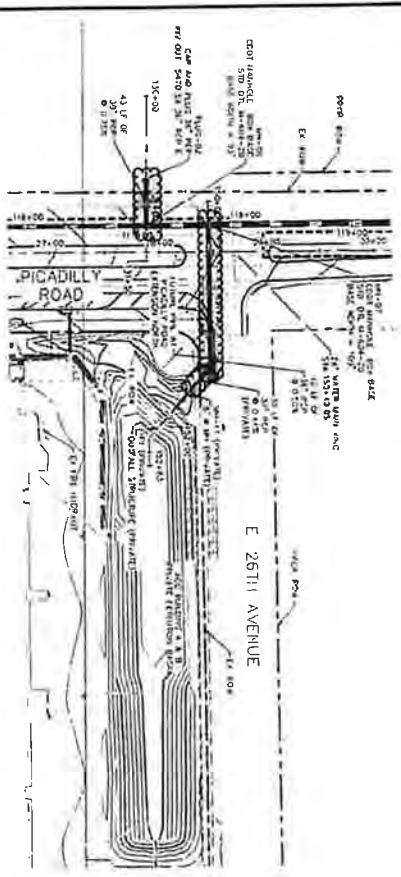
EXHIBIT B - DEFERRED STORM IMPROVEMENTS SHEET 4 OF 5

- NOTES:
1. CONTRACTOR SHALL VERIFY ALL UTILITY PROFILES PRIOR TO CONSTRUCTION. UTILITIES NOT SHOWN SHOULD BE CONTACTED WITH CITY ENGINEER FOR LOCATION AND DEPTH.
 2. ALL STORM SEWER PIPE SHALL BE 15' DIA. UNLESS OTHERWISE NOTED.
 3. CONTRACTOR TO USE CLASS B BEDDING FOR ALL STORM SEWER PIPE.
 4. ALL STORM SEWER FITTINGS AND MANHOLES ARE 15' DIA. UNLESS OTHERWISE NOTED.
 5. CITY OF AURORA SHALL BE RESPONSIBLE FOR OBTAINING NECESSARY PERMITS AND APPROVALS FOR CONSTRUCTION OF THE STORM SEWER IMPROVEMENTS. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING NECESSARY PERMITS AND APPROVALS FOR THE CONSTRUCTION AND/OR CONNECTION OF THE IMPROVEMENTS.
 6. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING NECESSARY PERMITS AND APPROVALS FOR THE CONSTRUCTION AND/OR CONNECTION OF THE IMPROVEMENTS.

BENCHMARK AND DATUM
 BENCHMARK: 15' DIA. CONCRETE MANHOLE AT STA. 112+00.00
 DATUM: 1985 MEAN SEA LEVEL (MSL)
 ELEVATION OF BENCHMARK: 561.25'



	CITY OF AURORA AURORA COMMERCE CENTER SUBDIVISION FILING NO. 3 PICADILLY ROAD IMPROVEMENTS STORM SEWER PLAN AND PROFILE	SHEET NO. 44 OF 44															
	FACSIMILE 312.625.1100 312.625.1101	REVISION <table border="1"> <tr><th>NO.</th><th>DESCRIPTION</th><th>DATE</th></tr> <tr><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td></tr> </table>	NO.	DESCRIPTION	DATE												
NO.	DESCRIPTION	DATE															



- NOTES:**
- CONTRACTOR SHALL VERIFY ALL DIMENSIONS, ELEVATIONS AND MATERIALS WITH THE CITY OF AURORA.
 - CONTRACTOR SHALL VERIFY ALL DIMENSIONS, ELEVATIONS AND MATERIALS WITH THE CITY OF AURORA.
 - CONTRACTOR TO USE CLASS B BEDDING AND 18" MIN. COVER OVER ALL MANHOLES AND SLEEVES.
 - CONTRACTOR SHALL VERIFY ALL DIMENSIONS, ELEVATIONS AND MATERIALS WITH THE CITY OF AURORA.
 - CONTRACTOR SHALL VERIFY ALL DIMENSIONS, ELEVATIONS AND MATERIALS WITH THE CITY OF AURORA.

APPROVED ON 07/12/2021

EXHIBIT B - DEFERRED STORM IMPROVEMENTS SHEET 5 OF 5

	<p>CITY OF AURORA AURORA COMMERCE CENTER SUBDIVISION FILING NO. 3 PICADILLY ROAD IMPROVEMENTS STORM SEWER PLAN AND PROFILE</p>		<p>PROJECT NO. 2020-0000000 DRAWING NO. 2020-0000000 SHEET NO. 45</p>
--	--	--	---

EXHIBIT C

Non-Deferred Improvements

CITY OF AURORA GENERAL NOTES

- 201501 CITY OF AURORA GENERAL NOTES
- 201502 ALL AURORA PROJECTS SHALL BE SUBJECT TO INSPECTION BY THE CITY ENGINEER'S OFFICE AND SHALL BE SUBJECT TO THE CITY ENGINEER'S APPROVAL.
- 201503 THE CITY ENGINEER'S OFFICE SHALL BE SUBJECT TO THE CITY ENGINEER'S APPROVAL.
- 201504 THE CITY ENGINEER'S OFFICE SHALL BE SUBJECT TO THE CITY ENGINEER'S APPROVAL.
- 201505 THE CITY ENGINEER'S OFFICE SHALL BE SUBJECT TO THE CITY ENGINEER'S APPROVAL.
- 201506 THE CITY ENGINEER'S OFFICE SHALL BE SUBJECT TO THE CITY ENGINEER'S APPROVAL.
- 201507 THE CITY ENGINEER'S OFFICE SHALL BE SUBJECT TO THE CITY ENGINEER'S APPROVAL.
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- 201510 THE CITY ENGINEER'S OFFICE SHALL BE SUBJECT TO THE CITY ENGINEER'S APPROVAL.
- 201511 THE CITY ENGINEER'S OFFICE SHALL BE SUBJECT TO THE CITY ENGINEER'S APPROVAL.
- 201512 THE CITY ENGINEER'S OFFICE SHALL BE SUBJECT TO THE CITY ENGINEER'S APPROVAL.
- 201513 THE CITY ENGINEER'S OFFICE SHALL BE SUBJECT TO THE CITY ENGINEER'S APPROVAL.
- 201514 THE CITY ENGINEER'S OFFICE SHALL BE SUBJECT TO THE CITY ENGINEER'S APPROVAL.
- 201515 THE CITY ENGINEER'S OFFICE SHALL BE SUBJECT TO THE CITY ENGINEER'S APPROVAL.
- 201516 THE CITY ENGINEER'S OFFICE SHALL BE SUBJECT TO THE CITY ENGINEER'S APPROVAL.
- 201517 THE CITY ENGINEER'S OFFICE SHALL BE SUBJECT TO THE CITY ENGINEER'S APPROVAL.
- 201518 THE CITY ENGINEER'S OFFICE SHALL BE SUBJECT TO THE CITY ENGINEER'S APPROVAL.
- 201519 THE CITY ENGINEER'S OFFICE SHALL BE SUBJECT TO THE CITY ENGINEER'S APPROVAL.
- 201520 THE CITY ENGINEER'S OFFICE SHALL BE SUBJECT TO THE CITY ENGINEER'S APPROVAL.
- 201521 THE CITY ENGINEER'S OFFICE SHALL BE SUBJECT TO THE CITY ENGINEER'S APPROVAL.

CITY OF AURORA
AURORA COMMERCE CENTER SUBDIVISION FILING NO. 3
PICADILLY ROAD AND SMITH ROAD IMPROVEMENTS
SMITH ROAD TO 32ND PARKWAY
ADAMS COUNTY, CITY OF AURORA, COLORADO

SUMMARY OF NON-DEFERRED CONSTRUCTION:
 SMITH ROAD WIDENING, DRIVEWAY AND SIDEWALK CONSTRUCTION ALONG PICADILLY ROAD, ASSOCIATED WITH BUILDINGS A & B DEVELOPMENT.



SHEET INDEX

NO.	DESCRIPTION
1	COVER SHEET
2	SMITH ROAD WIDENING
3	SMITH ROAD DRIVEWAY AND SIDEWALK
4	PICADILLY ROAD DRIVEWAY AND SIDEWALK
5	PICADILLY ROAD SIDEWALK
6	PICADILLY ROAD DRIVEWAY
7	PICADILLY ROAD SIDEWALK
8	PICADILLY ROAD DRIVEWAY
9	PICADILLY ROAD SIDEWALK
10	PICADILLY ROAD DRIVEWAY
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14	PICADILLY ROAD DRIVEWAY
15	PICADILLY ROAD SIDEWALK
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98	PICADILLY ROAD DRIVEWAY
99	PICADILLY ROAD SIDEWALK
100	PICADILLY ROAD DRIVEWAY

NON-DEFERRED CONSTRUCTION LEGEND
 BY DISTRICT
 NOT A PARTY TO AGREEMENT

APPROVED FOR THE DISTRICT
 DATE: 07/10/2021
 DATE: 07/09/2021
 DATE: 07/09/2021
 DATE: 07/09/2021

Kimley Horn
 Kimley-Horn and Associates, Inc.
 4502 South Ulster Street, Suite 1500
 Denver, CO 80246 (303) 733-3300
 FAX: (303) 733-3300

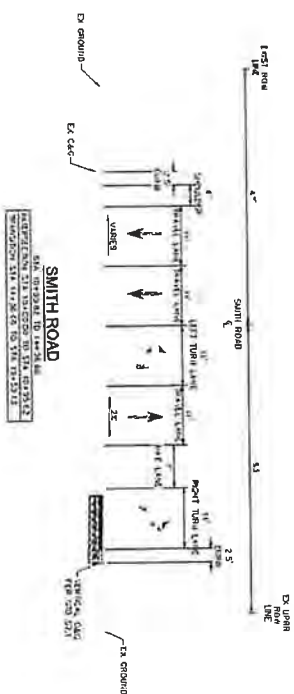
APPROVED ON 07/12/2021

EXHIBIT C - NON DEFERRED IMPROVEMENTS
 SHEET 1 OF 14

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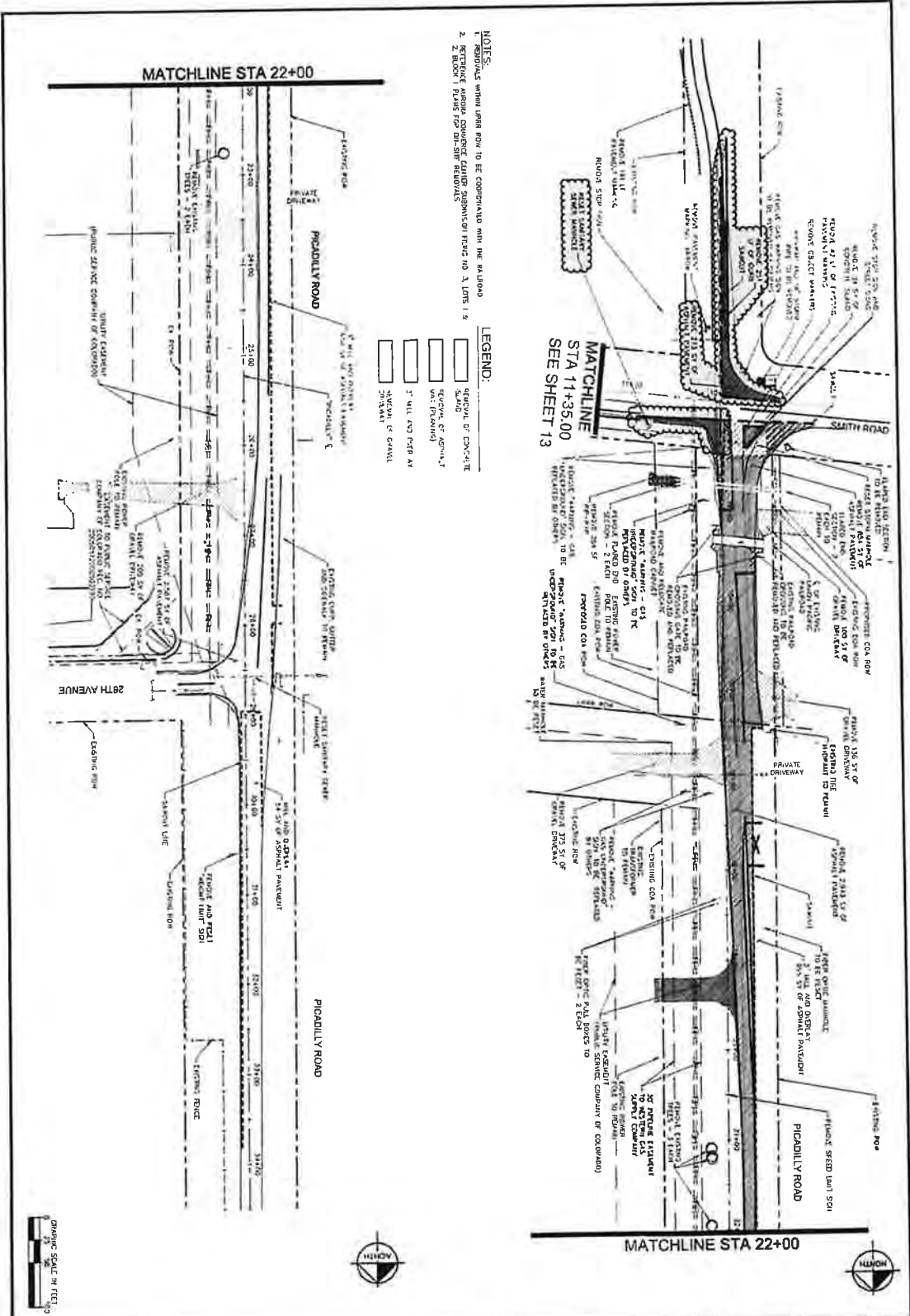
APPROVED ON 07/12/2021



- NOTES:**
1. PREPARE DESIGN REPORT PREPARED BY CONTRACTOR AND SUBMIT PREPARATION AND INSPECTION REPORT TO THE CITY OF AURORA.
 2. FOR CROSS SECTION, PREPARE SEE PLAN, PROFILE AND GRADING SHEET.
 3. PREPARE ON-SITE PLAN FOR LANDSCAPE IMPROVEMENTS.
- LEGEND:**
- CONTRACTOR PROVIDED TO STABILIZE AND RE-VEGETATE, MINIMUM 4" ON-SITE ROWLANDS DEPENDING ON SPECIFIC ALTERNATIVE.
- PRELIMINARY PAVED SECTION REFERENCE CITY OF AURORA APPROVED PAVED SECTION**

EXHIBIT C - NON DEFERRED IMPROVEMENTS
SHEET 2 OF 14

<p>PROJECT NO. 221219</p> <p>SHEET NO. 11</p>	<p>CITY OF AURORA AURORA COMMERCE CENTER SUBDIVISION FILING NO. 3 PICADILLY ROAD IMPROVEMENTS TYPICAL SECTION</p>	<p>DESIGNED BY: JAC CHECKED BY: JAC DATE: 4/20/14</p>	<p>Kimley»Horn KIMLEY-HORN AND ASSOCIATES, INC. 4882 SOUTH ULSTER STREET, SUITE 1500 DENVER, COLORADO 80237 (303) 228-2300</p>	NO	REVISION	BY	DATE



- NOTES:
1. REMOVE ALL UTILITIES WITHIN ROW TO BE CONSTRUCTION WITH THE IMPROVEMENTS.
 2. RETAIN EXISTING UTILITY COVERAGE DURING CONSTRUCTION PERIOD IN ACCORDANCE WITH THE CITY OF AURORA'S UTILITIES DEPARTMENT.
 3. BLOCK 1 PLANS FOR ONE-SIDE REMOVALS.

- LEGEND:
- REMOVAL OF EXISTING ASPHALT PAVEMENT
 - REMOVAL OF EXISTING CONCRETE PAVEMENT
 - 1" HELL AND POP AS
 - REMOVAL OF GRAVEL

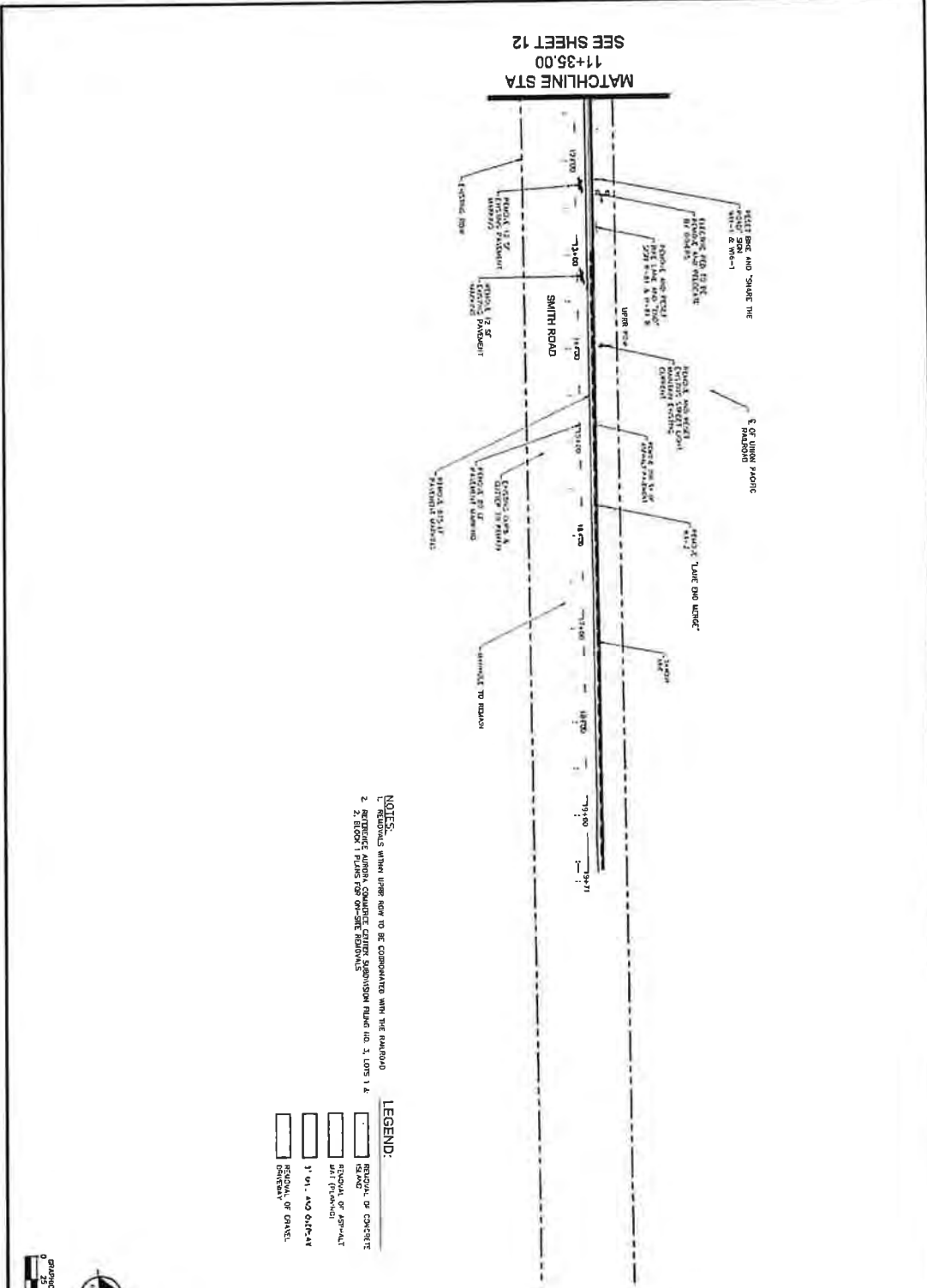
APPROVED ON 07/11/2021

EXHIBIT C - NON DEFERRED IMPROVEMENTS

SHEET 3 OF 14

<p>DATE: _____</p> <p>BY: _____</p> <p>REVISION: _____</p> <p>NO: _____</p>	<p>CITY OF AURORA</p> <p>AURORA COMMERCE CENTER SUBDIVISION FILING NO. 3</p> <p>PICADILLY ROAD IMPROVEMENTS</p> <p>REMOVAL AND RESET PLAN</p>	<p>Kimley»Horn</p> <p>Kimley-Horn and Associates, Inc.</p> <p>4542 SOUTH WALTON STREET, SUITE 1000</p> <p>DENVER, COLORADO 80227 (303) 732-2300</p>
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APPROVED ON 07/12/2021



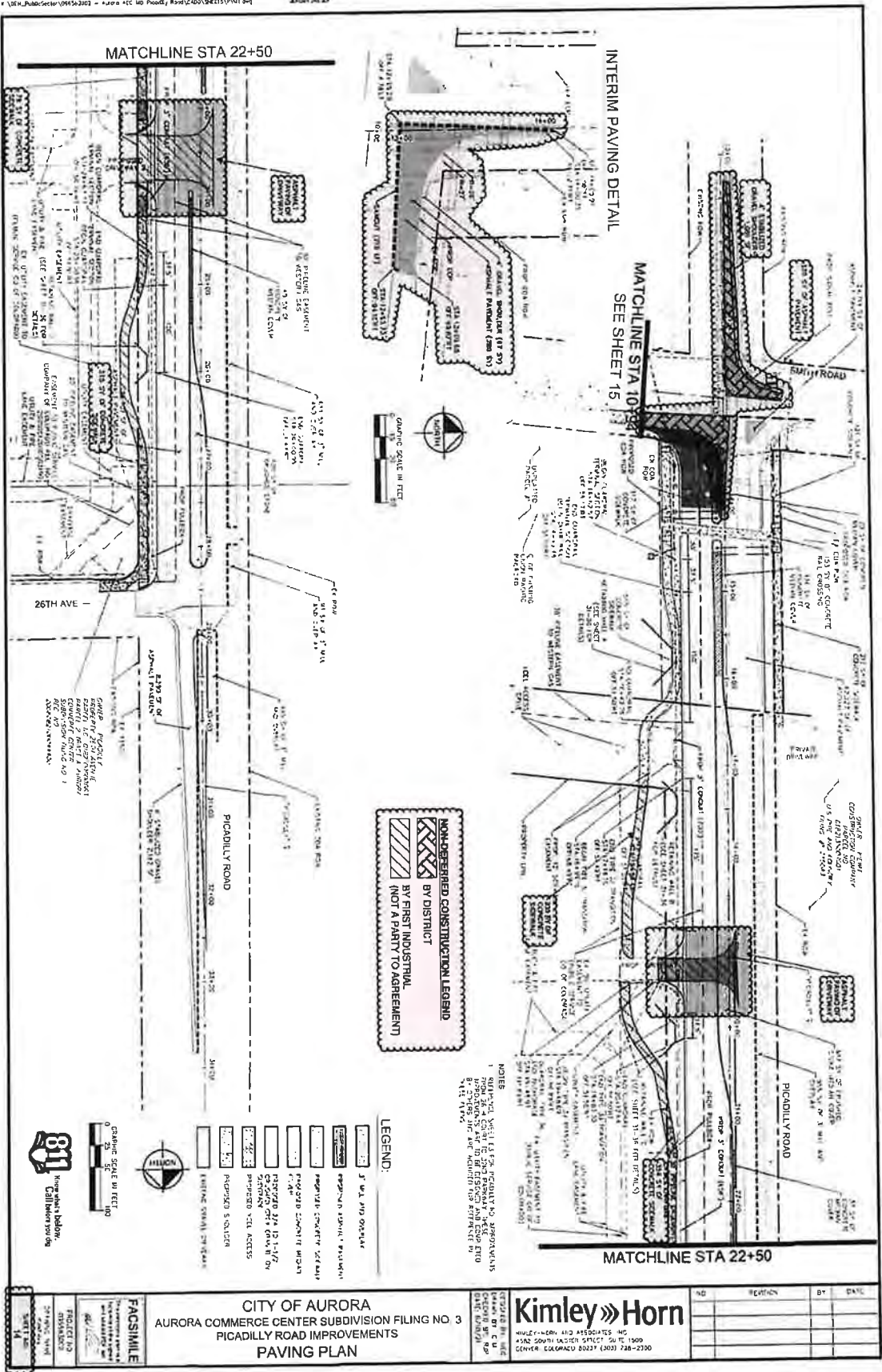
- NOTES:
- 1. CONDITIONS WHEN UPON HOW TO BE COMPARED WITH THE PARALLEL
 - 2. REFER TO AURORA COMMERCIAL CENTER SUBDIVISION FILING NO. 1, LOTS 1 & 2, BLOCK 1 PLANS FOR ON-SITE REPAIRS

- LEGEND:
- REMOVAL OF CONCRETE ISLAND
 - REMOVAL OF ASPHALT AND PAVING
 - 1' W. AND 6\"/> REMOVAL OF GRAVEL DRIVEWAY



EXHIBIT C - NON DEFERRED IMPROVEMENTS
SHEET 4 OF 14

	<p>CITY OF AURORA AURORA COMMERCE CENTER SUBDIVISION FILING NO. 3 PICADILLY ROAD IMPROVEMENTS REMOVAL AND RESET PLAN</p>	<p>Kimley»Horn</p> <p>4550 SOUTH WASHINGTON AVENUE, SUITE 1000 DENVER, COLORADO 80221 (303) 222-2300</p>	<p>PROJECT NO. 2019-001 DRAWING NO. 2019-001-013</p>
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APPROVED ON 07/12/2021

EXHIBIT C - NON DEFERRED IMPROVEMENTS
SHEET 5 OF 14



CITY OF AURORA
AURORA COMMERCE CENTER SUBDIVISION FILING NO. 3
PICADILLY ROAD IMPROVEMENTS
PAVING PLAN

811 Call before you dig
Call before you dig
800-487-4874
www.callbeforeyoudig.com

\\VP_PlanSector\96583001 - Aurora ACC 40 Floody Road\10-00\94272\VP.dwg

LEGEND:

- ① SEE SHEET 20 FOR CAME VANE DATA
- ② SEE SHEET 20 FOR LINE VANE DATA
- ↖ STOP WATER DIRECTIONAL FLOW ARROW

NOTES:

1. REFER TO SHEET 20 FOR LINE AND CURVE DATA
2. REFER TO SHEET 20 FOR PRODUCE AND PREPARED BY INFORMATION. THESE INFORMATION ARE TO BE USED FOR THE PRODUCTION OF THE FINAL PLAN AND PROFILE.
3. REFER TO SHEET 20 FOR PRODUCE AND PREPARED BY INFORMATION. THESE INFORMATION ARE TO BE USED FOR THE PRODUCTION OF THE FINAL PLAN AND PROFILE.
4. COMPENSATION SHALL INCLUDE A MINIMUM OF 0.5% GRADE AT FLOW LINE TO USER
5. CONNECTIONS WITH DRAINAGE FOLLOWING SHALL BE REFERRED TO GRADE (A) EXCEPT WHERE A VERTICAL CURVE SHALL BE USED TO
6. SPECIAL IS LAMP OUT PROPOSED ROADWAY
7. COMPENSATION AND PRESENTING WITH DRAINAGE SHALL BE 5% GRADE FOR CONNECTION TO EXISTING ROADWAY

REMARKS:

1. 2" X 4" BRASS CAP STAKES TO BE PLACED AT THE POINTS OF PROPOSED GRADE AND EXISTING GRADE FOR FIELD CHECKS. THE STAKES SHALL BE PLACED AT THE POINTS OF PROPOSED GRADE AND EXISTING GRADE. (SEE SHEET 20)

MATCHLINE STA 11+00 - SEE SHEET 16

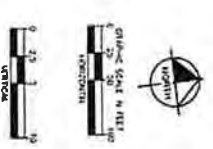
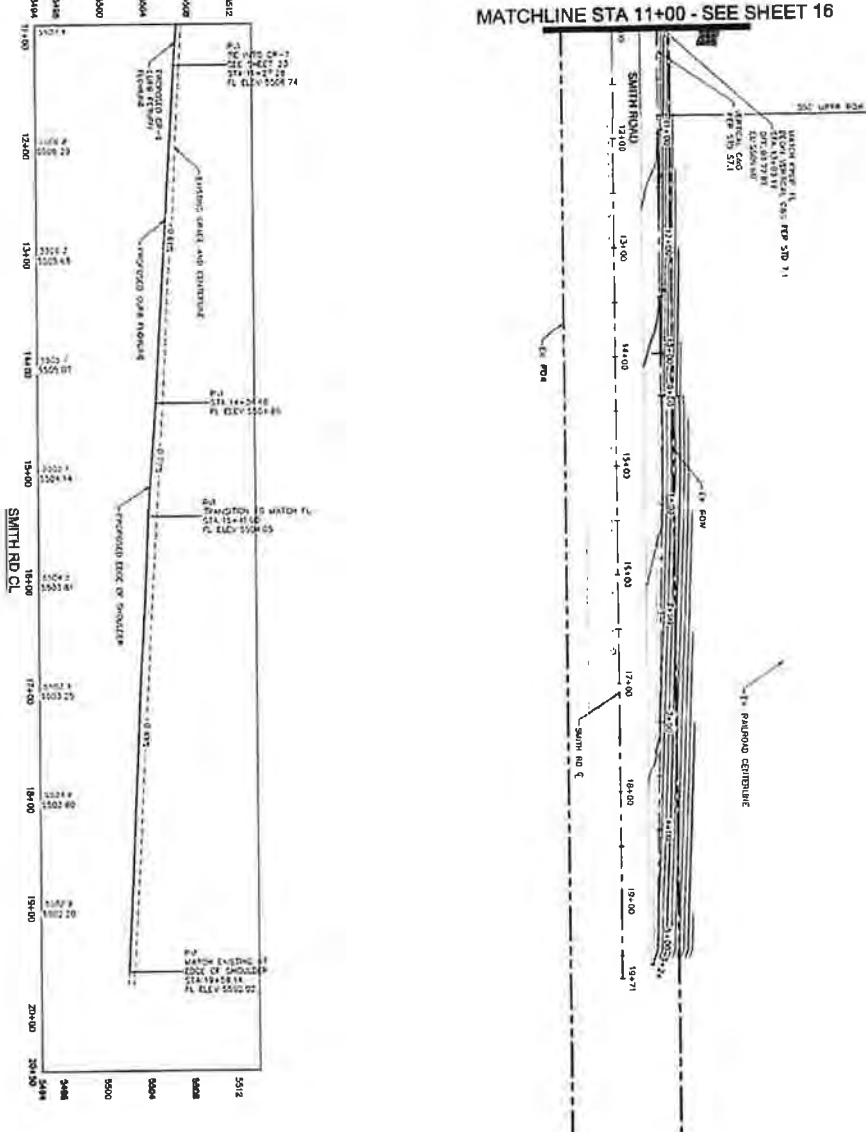


EXHIBIT C - NON DEFERRED IMPROVEMENTS
 SHEET 7 OF 14

	<p>CITY OF AURORA AURORA COMMERCE CENTER SUBDIVISION FILING NO. 3 PICADILLY ROAD IMPROVEMENTS PLAN AND PROFILE</p>	<p>Kimley»Horn KIMLEY-HORN AND ASSOCIATES, INC. 4582 SOUTH ULMER STREET, SUITE 1000 DENVER, COLORADO 80227 (303) 238-2300</p>	<table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <th style="width: 10%;">NO.</th> <th style="width: 40%;">REVISION</th> <th style="width: 10%;">BY</th> <th style="width: 40%;">DATE</th> </tr> <tr> <td> </td> <td> </td> <td> </td> <td> </td> </tr> </table>	NO.	REVISION	BY	DATE				
NO.	REVISION	BY	DATE								
<p>DATE: 6/10/07 DRAWN BY: [Name] CHECKED BY: [Name] SCALE: AS SHOWN</p>	<p>PROJECT NO.: 06030302 SHEET NO.: 18</p>										

CITY OF AURORA EROSION CONTROL NOTES

- 1. EROSION CONTROL MEASURES SHALL BE INSTALLED TO PREVENT EROSION OF THE SOILS UNDER CONSTRUCTION AND SHALL BE MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD.
- 2. EROSION CONTROL MEASURES SHALL BE INSTALLED TO PREVENT EROSION OF THE SOILS UNDER CONSTRUCTION AND SHALL BE MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD.
- 3. EROSION CONTROL MEASURES SHALL BE INSTALLED TO PREVENT EROSION OF THE SOILS UNDER CONSTRUCTION AND SHALL BE MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD.
- 4. EROSION CONTROL MEASURES SHALL BE INSTALLED TO PREVENT EROSION OF THE SOILS UNDER CONSTRUCTION AND SHALL BE MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD.
- 5. THE EROSION CONTROL MEASURES SHALL BE INSTALLED TO PREVENT EROSION OF THE SOILS UNDER CONSTRUCTION AND SHALL BE MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD.
- 6. THE EROSION CONTROL MEASURES SHALL BE INSTALLED TO PREVENT EROSION OF THE SOILS UNDER CONSTRUCTION AND SHALL BE MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD.
- 7. THE EROSION CONTROL MEASURES SHALL BE INSTALLED TO PREVENT EROSION OF THE SOILS UNDER CONSTRUCTION AND SHALL BE MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD.

APPROVED ON 07/12/2021

CONSTRUCTION STANDARDS

1. EROSION CONTROL MEASURES SHALL BE INSTALLED TO PREVENT EROSION OF THE SOILS UNDER CONSTRUCTION AND SHALL BE MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD.

- 1. INSTALL EROSION CONTROL MEASURES TO PREVENT EROSION OF THE SOILS UNDER CONSTRUCTION AND SHALL BE MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD.
- 2. EROSION CONTROL MEASURES SHALL BE INSTALLED TO PREVENT EROSION OF THE SOILS UNDER CONSTRUCTION AND SHALL BE MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD.
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LEGEND

- EROSION CONTROL
- PROPOSED CONTOURS
- LIMITS OF CONSTRUCTION
- CONCRETE WASHOUT
- DRAIN SPOKE
- INLET PROTECTION
- OUTLET PROTECTION
- BRICKS AND BINDER
- 2:1 FILL
- STAKE TYPING CONTOUR
- FLOW DIRECTION
- AREA OUTSIDE OF LIMITS OF CONSTRUCTION
- DRAINAGE AREA 721 ACRES

EXHIBIT C - NON DEFERRED IMPROVEMENTS SHEET 8 OF 14

Kimley»Horn

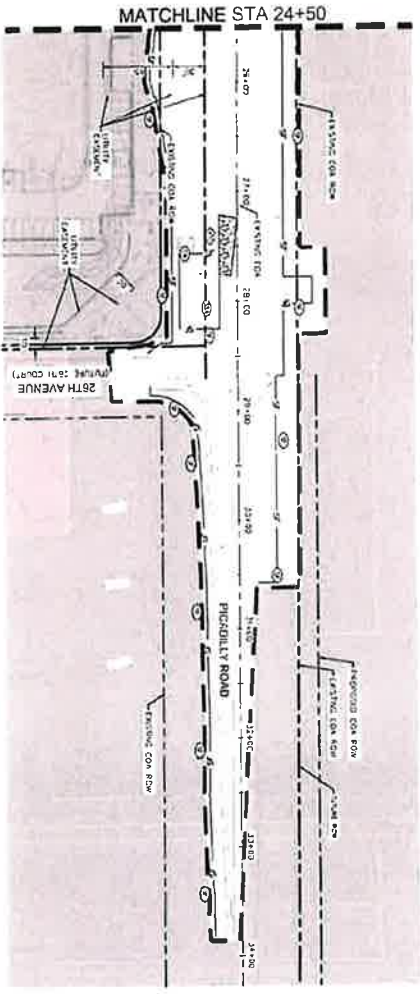
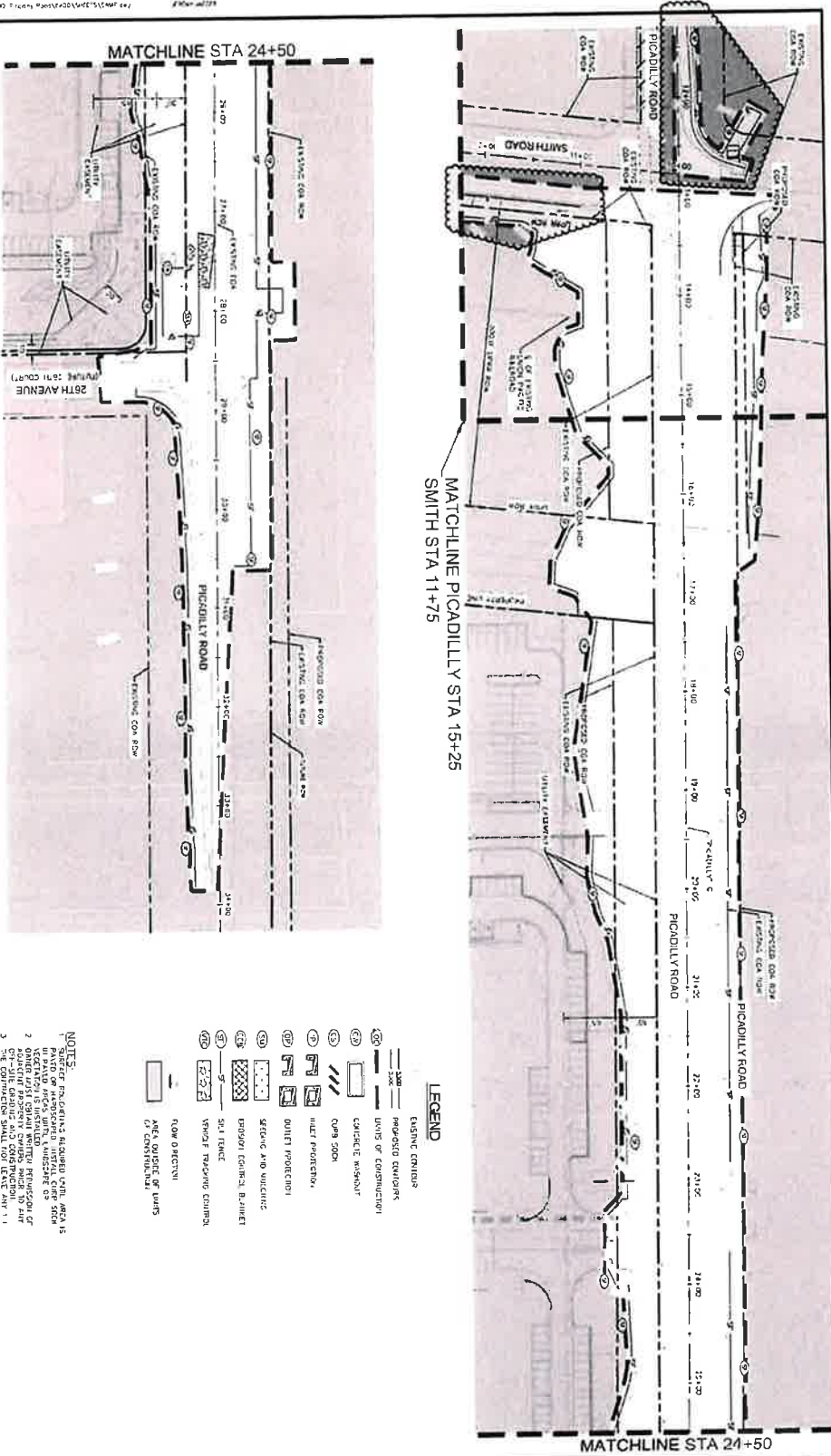
9000 W. 11TH AVENUE, SUITE 100, DENVER, CO 80233
 303.751.4000 FAX 303.751.4001
 WWW.KIMLEYHORN.COM

CITY OF AURORA
 AURORA COMMERCE CENTER SUBDIVISION FILING NO. 3
 PICADILLY ROAD IMPROVEMENTS
 STORM WATER MANAGEMENT NOTES

PACSIMILE
 SHEET NO. 8 OF 14

DATE: _____
 REVISION: _____
 NO: _____

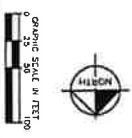
1000... Aurora ATC 40... 4/20/22



LEGEND

- EXISTING CENTERLINE
- PROPOSED CENTERLINE
- UNITS OF CONSTRUCTION
- CONCRETE REPAIR
- CURB 500M
- HAUT PROTECTION
- GRUNT PROTECTION
- STEERING AND VEHICLE
- DRYDOWN CONTROL BARRIER
- SEAL FLOOR
- VEHICLE TRAPPING CURBING
- FLOW DIRECTIVE
- AREA SUBJECT OF IMPROVEMENTS
- CONSERVATION

- NOTES:
1. SLOTTED FOR GRANULAR FILLING WITH AREAS IN PAVED AREAS UNDER CONSTRUCTION OR UNDER CONSTRUCTION.
 2. OWNER SHALL VERIFY EXISTING PROVISIONS OF QUALITY PASSING CONCRETE REPAIR AND CURB.
 3. THE CONTRACTOR SHALL NOT LIFT ANY EXISTING CURB OR PAVEMENT SHALL BE RECONSTRUCTED TO EXISTING CONDITION IS EXISTING ROUGH ROAD SURFACE.
 4. EXISTING CURB TO BE RECONSTRUCTED TO EXISTING CONDITION IS EXISTING ROUGH ROAD SURFACE.



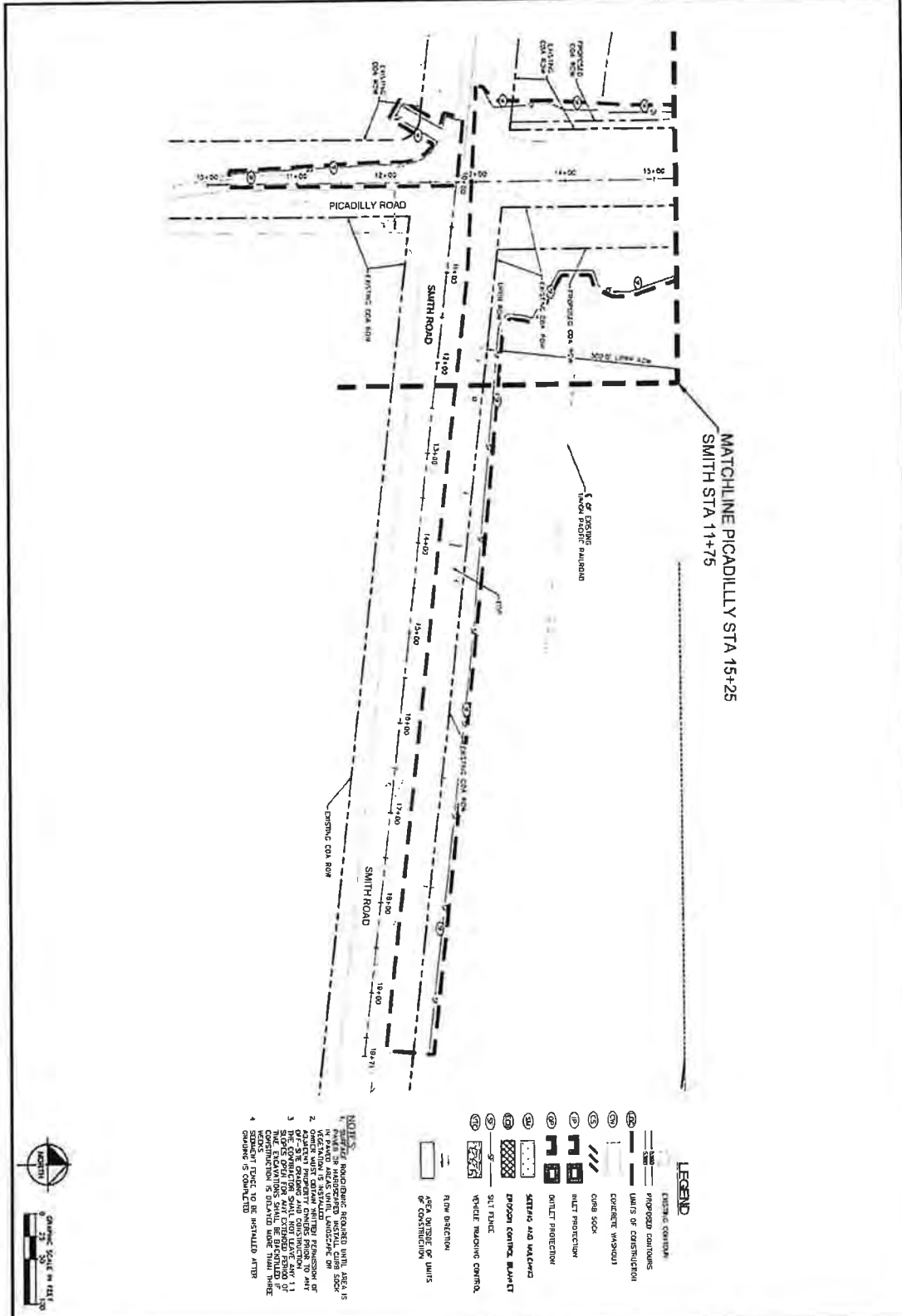
APPROVED ON 07/12/2021

EXHIBIT C - NON DEFERRED IMPROVEMENTS
SHEET 9 OF 14

<p>PROJ. NO. AURORA ATC 40</p> <p>DATE 4/20/22</p> <p>SCALE AS SHOWN</p> <p>SHEET NO. 49</p>	<p>CITY OF AURORA AURORA COMMERCE CENTER SUBDIVISION FILING NO. 3 PICADILLY ROAD IMPROVEMENTS PICADILLY INITIAL EC PLAN</p>	<p>Kimley»Horn</p> <p><small>Kimley-Horn and Associates, Inc. 1525 SOUTH WELLS STREET, SUITE 100 CHICAGO, ILLINOIS 60607 (312) 726-2500</small></p>	<table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <th>NO.</th> <th>REVISION</th> <th>BY</th> <th>DATE</th> </tr> <tr> <td> </td> <td> </td> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> <td> </td> <td> </td> </tr> </table>	NO.	REVISION	BY	DATE												
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APPROVED ON 07/12/2021



MATCHLINE PICADILLY STA 15+25
SMITH STA 11+75

E OF ENGINE MAJOR

PICADILLY ROAD

SMITH ROAD

SMITH ROAD

SMITH ROAD

SMITH ROAD

SMITH ROAD

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SMITH ROAD

LEGEND

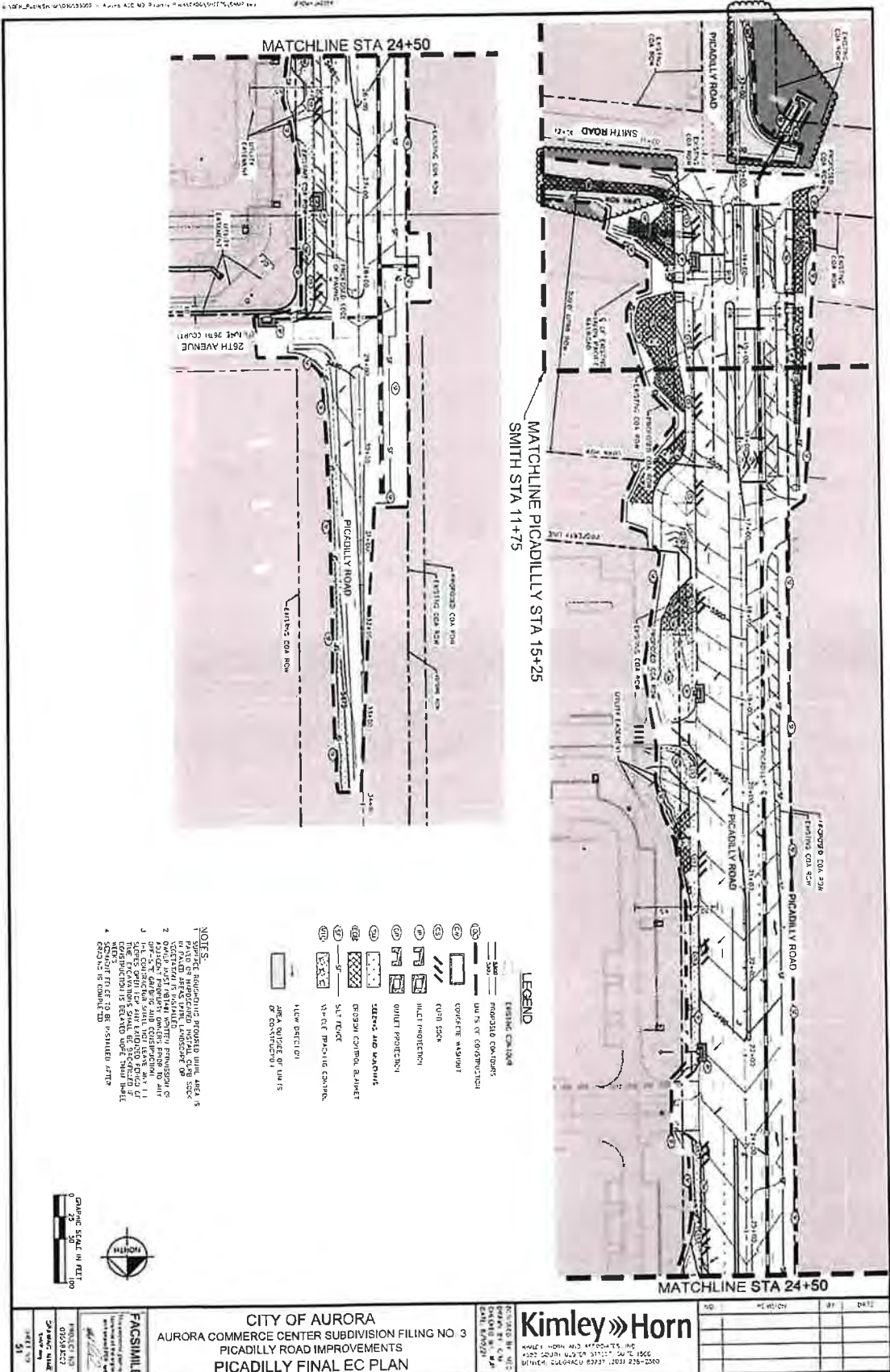
- EXISTING CENTERLINE
- PROPOSED CENTERLINE
- LIMITS OF CONSTRUCTION
- CONCRETE WALKWAY
- CONG. SOAK
- SALT PROTECTION
- OUTLET PROTECTION
- SETBACK AND WALKWAY
- PROPOSED CENTERLINE
- SILT FENCE
- VEHICLE TRACKING CONTROL
- ROW DIRECTION
- AREA OUTSIDE OF LIMITS OF CONSTRUCTION

- NOTES
1. ALL ROADWORK SHALL BE DONE WITHIN THE LIMITS OF CONSTRUCTION UNLESS OTHERWISE NOTED.
 2. ALL EXISTING UTILITIES SHALL BE MAINTAINED AND PROTECTED THROUGHOUT CONSTRUCTION.
 3. ALL NEW UTILITIES SHALL BE INSTALLED AND PROTECTED THROUGHOUT CONSTRUCTION.
 4. ALL CONSTRUCTION SHALL BE COMPLETED WITHIN THE SPECIFIED TIME FRAME.



EXHIBIT C - NON DEFERRED IMPROVEMENTS
SHEET 10 OF 14

<p>CITY OF AURORA AURORA COMMERCE CENTER SUBDIVISION FILING NO. 3 PICADILLY ROAD IMPROVEMENTS SMITH INITIAL EC PLAN</p>	<p>Kimley-Horn Kimley-Horn and Associates, Inc. 2582 SOUTH ULSTER STREET, SUITE 1800 DENVER, COLORADO 80227 (303) 226-2300</p>	<table border="1"> <thead> <tr> <th>NO.</th> <th>REVISION</th> <th>BY</th> <th>DATE</th> </tr> </thead> <tbody> <tr> <td> </td> <td> </td> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> <td> </td> <td> </td> </tr> </tbody> </table>	NO.	REVISION	BY	DATE												
NO.	REVISION	BY	DATE															



MATCHLINE PICADILLY STA 15+25
SMITH STA 11+75

MATCHLINE STA 24+50

MATCHLINE STA 24+50

- LEGEND**
- EXISTING CHANNEL
 - PROPOSED CHANNELS
 - UTILS. OF CONSTRUCTION
 - CONCRETE SHOULDER
 - CURB AND GUTTER
 - GUTTER PROTECTION
 - SEWER AND WATER
 - REGULAR CONCRETE ADJUST
 - SILT FLOOR
 - W-CLC PAVEMENT CHANGE
 - NEW DETECTOR
 - AREA OUTSIDE OF LIMITS OF CONSTRUCTION

- NOTES:**
1. SEPARATE ROADWAYS PROPOSED WITH ADJUSTED CROSS SECTIONS.
 2. OVERLAP AREAS SHALL BE CONSIDERED AS CONSTRUCTION.
 3. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF AURORA SPECIFICATIONS FOR ROADWAY CONSTRUCTION.
 4. CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF AURORA SPECIFICATIONS FOR ROADWAY CONSTRUCTION.

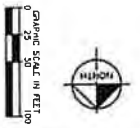


EXHIBIT C - NON DEFERRED IMPROVEMENTS
SHEET 11 OF 14

APPROVED ON 07/12/2021

	<p>CITY OF AURORA AURORA COMMERCE CENTER SUBDIVISION FILING NO 3 PICADILLY ROAD IMPROVEMENTS PICADILLY FINAL EC PLAN</p>	<p>Kimley»Horn</p>	<table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <td style="width: 10%;">NO.</td> <td style="width: 10%;">REV.</td> <td style="width: 10%;">DATE</td> </tr> <tr> <td> </td> <td> </td> <td> </td> </tr> </table>	NO.	REV.	DATE			
NO.	REV.	DATE							
<p>PROJECT NO. 2019-001 SHEET NO. 11 OF 14 DATE: 07/12/2021</p>	<p>DESIGNED BY: [Name] CHECKED BY: [Name] DRAWN BY: [Name]</p>	<p>PROJECT NO. 2019-001 SHEET NO. 11 OF 14 DATE: 07/12/2021</p>	<p>PROJECT NO. 2019-001 SHEET NO. 11 OF 14 DATE: 07/12/2021</p>						

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APPROVED ON 07/12/2021

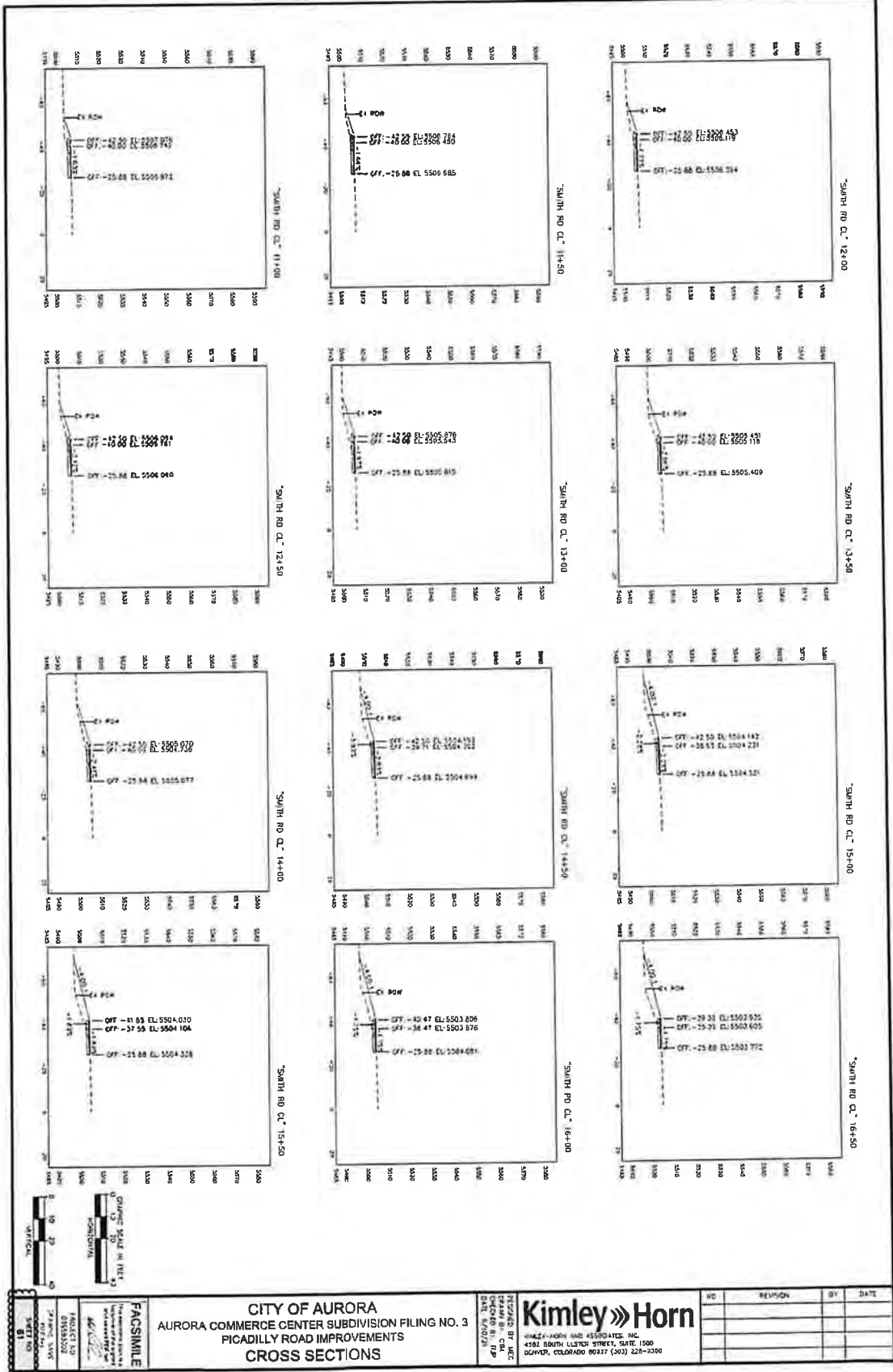


EXHIBIT C - NON DEFERRED IMPROVEMENTS
SHEET 13 OF 14

CHANGE SCALE IN FEET
 ORIGINAL SCALE
 FACSIMILE
 PROJECT NO.
 SHEET NO.

CITY OF AURORA
 AURORA COMMERCE CENTER SUBDIVISION FILING NO. 3
 PICADILLY ROAD IMPROVEMENTS
 CROSS SECTIONS

Kimley»Horn
 CONSULTING ENGINEERS, INC.
 4582 SOUTH ULSTER STREET, SUITE 1500
 DENVER, COLORADO 80227 (303) 228-2300

NO.	REVISION	BY	DATE

Stormwater Construction and Cost Reimbursement Agreement

This Storm Construction and Cost Reimbursement Agreement (“**Agreement**”), is entered into this _____ day of _____, 2022, (“**Effective Date**”), by and among ACC Metropolitan District, a quasi-municipal corporation and political subdivision of the State of Colorado (the “**District**”), and the City of Aurora, Colorado, a home rule municipal corporation of the counties of Adams, Arapahoe, and Douglas, State of Colorado (“**City**”), acting on its own behalf. City and District shall be referred to herein as “**Party**,” and collectively as “**Parties**”.

Recitals

This Agreement is made on the basis of the following facts:

A. Pursuant to the authority granted to the District by its Service Plan, as approved by the City Council of the City of Aurora on September 8, 2003, as it may be amended from time to time (the “**Service Plan**”), the District was formed, among other things, to provide for the design, construction and financing of public improvements to benefit properties within its boundaries, which include the Aurora Commerce Center, in the City of Aurora, County of Adams, State of Colorado which properties comprise approximately 162 acres of land generally located west of the E-470 corridor, east of Picadilly Road, south of 26th Avenue and north of Smith Road and the Union Pacific Railroad all in Aurora, Colorado (the “**Property**”).

B. In connection with development of the Property, District intends to complete construction of the stormwater line on the west side of Picadilly Road, from the intersection of Smith Road & Picadilly Road, starting at MH-0, Station 101-25.97, north to Station 119+65.98 (the “**Improvements**”). The scope of the Improvements shall be in accordance with the plans referenced on **Exhibit B** – Deferred Stormwater Improvements, which is an excerpt of COA EDN 221219, attached by reference only (the “**Approved Plans**”), and all Aurora Water rules and regulations including but not limited to the Water, Sanitary Sewer and Storm Drainage Infrastructure Standards and Specifications. The City reserves the right to request revision, prior to issuance of Public Improvement Permit, to approved civil plans if the City’s code and criteria have been updated, and the updates impact public health and safety.

C. To facilitate installation of the Improvements in advance of the time that the City is prepared or obligated to do so, District is willing to undertake the design and installation of the Improvements and to advance one hundred percent (100%) of the cost thereof. The City shall not be required to pay any installation costs, fees, or incentives for acceleration of the Improvements.

D. The City is willing to reimburse District for the incremental costs associated with installation of the Improvements in accordance with this Agreement.

Agreement

NOW THEREFORE, for good and valuable consideration, the receipt and sufficiency of which is hereby acknowledged, the Parties agree as follows:

1. Project Engineer. District, with the consent of the City, will select a project engineer and/or equally qualified project manager (as applicable, “**Project Engineer**”) to undertake and supervise the construction of the Improvements, to provide cost estimating for construction, as well as review and certify pay requests for completed construction. This role may be filled by a general contractor, architect, or other qualified position. The Parties agree that Matrix Design Group (“**Matrix**”) may be engaged by the District to serve this role and, if engaged, costs and expenses incurred to Matrix will be included in the Eligible Reimbursement Amount (defined below).

(a) Engineering and Design. District has already completed the necessary final design and construction plans for the Improvements. District will determine the legal descriptions for any easements that will be required to be granted to the City (“**Easements**”) by plat or by separate document for the maintenance of the Improvements. The Improvements shall be built and designed in accordance with the Approved Plans and all applicable City standards and subject to all applicable ordinances, rules, and regulations of the City.

(b) Bids. District or Project Engineer will obtain at least three (3) bids from pre-qualified subcontractors approved by the City for all principal trades, to the extent there are three (3) pre-qualified subcontractors qualified and willing to submit bids. If less than three (3) pre-qualified subcontractors submit bids, the District shall provide evidence that it used reasonable efforts to solicit at least three bids together with a written statement confirming that less than three (3) bidders responded. District, its construction manager or Project Engineer will submit the proposed subcontractor bid documents to the City for approval before submitting to subcontractors. Bid documents must include all work to be performed for complete construction of the Improvements within preferred time periods and must identify the bid items eligible for reimbursement as separate line items. The City reserves the right to be present at the bid opening, to inspect all bids received by the District and for good cause to reject such bid. If the City does not respond to a request for approval of the bid documents within twenty (20) business days of submittal to City by District, the request shall be deemed approved.

(c) Reimbursement Amount. Upon receipt of the District’s estimate for construction of the Improvements, District and the City will agree on the not to exceed amount to be reimbursed to District for design and construction of the Improvements, including project management fees as well as costs for utility relocation and permit or other fees payable in connection with the work, such as permit fees or costs to work in Union Pacific Railroad right-of-way (“**Eligible Reimbursement Amount**”). The Eligible Reimbursement Amount shall include all actual costs associated with the design and construction of Improvements as well as management costs for the Project Engineer. Reasonable administration costs for the District, documented by the District and pre-approved by City, may be included in the Eligible Reimbursement Amount. The Eligible Reimbursement Amount, including any claim amounts approved under Section 3 below, shall not exceed \$6,908,304.32 (2022 Engineer’s Opinion of Cost Estimate), as set forth in more detail in Exhibit C, attached hereto and incorporated by this reference. Any amount exceeding \$500,000 will require review and approval by Aurora City Council.

(d) Supervision. District and Project Engineer will supervise all design, bidding processes and construction of the Improvements through and including completion of construction,

dedication to and acceptance by the City (“**Project Completion**”). The City will only pay management costs for the Project Engineer.

(e) Payment Administration. District and Project Engineer will review contractor pay requests and submit pay requests to the District for payment of the costs of the Improvements.

(f) Change Order Management. The Project Engineer, District and the City can request change orders. Project Engineer will prepare, review, and make a recommendation on change orders, which shall be subject to the approval of District. Only those change orders approved by Aurora Public Works and Aurora Water prior to the work that is subject to the change order being performed will be included in the Eligible Reimbursement Amount. At such time as the change order is approved, the Parties will update the Eligible Reimbursement Amount to include the amount of the change order that is to be included in the Eligible Reimbursement Amount.

2. Initial Payment of Improvement Costs. District shall pay (subject to partial reimbursement by Aurora pursuant to Section 3) one hundred percent (100%) of the Improvement Costs in the manner set forth in subsection 3.

3. Reimbursement Payment. Aurora Public Works will reimburse District only up to the Eligible Reimbursement Amount. All Parties shall confirm in writing the final amount owed to District for reimbursement. All reimbursements must be reviewed and certified by the Project Engineer and reviewed and authorized by the Public Works Director or designee before payment. Reimbursement will be structured as follows: 25% upon contractor award for the construction of the Improvements, 25% upon completion of approximately 50% of the value Improvements based on bid quantities, 45% upon completion of the Improvements and initial acceptance by the City and substantial completion of the Improvements, and the remaining percentage of retainage will be consistent with the applicable law as of the Effective Date upon acceptance of the Improvements after the 1-year warranty period. Reimbursement to the District will be paid within sixty (60) days after each request has been made.

4. Claims. A claim is any demand, contention, or assertion by the District seeking additional reimbursement other than change orders approved pursuant to 1(f) above. Claims by the District must be made in writing as specified herein. Claims from the District must contain all of the following:

- i) A narrative statement referencing and attaching the supporting documentation and specifically describing the legal, factual and contractual basis of the claim;
- ii) If the claim alleges delay to the work, the claim must include the precise number of days claimed, all alleged impacts, financial or otherwise, on the work, and the specific amount of money, if any, claimed as a result of the delay as well as a detailed critical path schedule analysis illustrating that the delays claimed were on the critical path of the project;
- iii) If applicable, the City shall not pay any costs for acceleration.

- iv) If the claim is for additional compensation, the claim must include a detailed calculation of the precise amount claimed with all supporting documentation. All claims must reference the specific contract provisions relied upon to support the claim. All claims must specifically reference, by name, this Section and the fact that the claim is being submitted under this Section. Any writing or other form of notice, however designated, which fails to specifically reference this Section, by name, shall not be deemed to constitute a valid claim hereunder.

Items i, ii, iii, and iv above shall hereinafter be referred to as the “Final Accounting.” A claim notice must be made in writing within sixty (60) business days after the occurrence of the event. Within such sixty (60) business day period, a complete claim request shall be submitted in writing to the City giving rise to the claim, or the right to submit a claim is waived. The District shall submit all information reasonably available that is otherwise required in the Final Accounting at the time of the claim. Failure to timely provide the Final Accounting shall constitute a waiver of the claim. All requests for additional reimbursement by the District shall be considered a separate claim and shall follow the claim procedures specified above. All information required in the Final Accounting must be submitted within the time limits established herein, and no supplementation of the information shall be permitted. Any attempted reservation of the right to submit or supplement an earlier-made claim shall be void.

After review of the claim, which City will complete within thirty (30) days of submission by District, City shall make a decision whether the District is entitled to a change order for such claim. If in the opinion of the City, the District is entitled to a change order, the City shall initiate a written change order. If in the opinion of the City, the District is not entitled to a change order, the District shall receive notice of the decision in writing from the City within five (5) business days of receipt of the claim by the City. The District may submit an appeal of the decision in writing to the City Engineer within five (5) business days of receipt of the decision from the City. If the decision of the City Engineer is disputed by the District, reconsideration of the City Engineer’s decision may be submitted in writing to the City Manager within five (5) business days of receipt of the City Engineer’s decision on appeal. The City Manager’s decision shall be the final decision.

Claims shall be sent electronically to the following:

City Engineer
City of Aurora
15151 E Alameda Parkway, Suite 3200
Aurora, CO 80012

5. Term. The term of this Agreement shall cease five (5) years after the approved date of this Agreement. The term of this Agreement shall be extended by five (5) year intervals if District has not been reimbursed the full Eligible Reimbursement Amount within said initial five (5) years. If the District has not commenced the Improvements within the time frame set forth under that certain Roadway Deferral Agreement by and between the Parties, the City may revisit the terms of this Agreement, provided, however, that the City’s reimbursement obligations hereunder shall not terminate.

6. Dedication to and Acceptance of Improvements by City. Upon completion of construction of the Improvements, District shall dedicate the Improvements to the City and provide a one (1) year warranty that the Improvements are constructed in substantial accordance with Approved Plans. The City shall process any such conveyance or dedication and shall issue any necessary acceptance of the Improvements in a reasonable timeframe. Inspection and acceptance of the Improvements shall be accomplished through a Public Improvement Inspection Permit. Upon acceptance of the Improvements by the City (“**Initial Acceptance**”) the Improvements shall become the property of the City. District’s warranty responsibilities for the Improvements shall be as specified in the Roadway Design & Construction Specifications Manual. The responsibility for the operation of the Improvements shall be that of the City.

7. Intentionally Deleted.

8. Non-Appropriation. The Parties acknowledge and understand that any financial obligations of the City payable after the current fiscal year are contingent upon funds for that purpose being budgeted and appropriated by the City's governing body. The City will use its best efforts to request and include in the City’s budget for each fiscal year an amount equal to the Eligible Reimbursement Amount. Such obligation to include within the City’s budget shall commence in the first fiscal year following the date that construction of the Improvements has commenced. If the City is unable to appropriate any such amount during a particular fiscal year, such amount shall continue to be outstanding and shall continue to be requested in each budget for a fiscal year until appropriated and paid.

9. Relationship of Parties. Nothing contained herein will be construed or interpreted as (a) creating a joint venture, partnership, or other similar relationship between District or the Parties; (entitling any person or entity not a party to this Agreement to any of the benefits of this Agreement; (c) appointing a party to this Agreement as agent of the others or authorizing a party to this Agreement to make contracts in the name of the others; or (d) creating, establishing or imposing a fiduciary duty owned by one party to the other hereunder or in any way creating a fiduciary relationship between the parties.

10. Notices. Any notice provided for or required to be given hereunder will be in writing and will be deemed given (a) the date personally delivered or transmitted by facsimile or email transmission to the recipient of such notice at the facsimile numbers or email addresses hereinafter identified; or (b) three (3) days after the date deposited in the United States mail, postage prepaid, certified mail, return receipt requested, addressed to the recipient of such notice at such place as a Party may designate in writing for such purpose or, in the absence of such designation. Notices shall be provided as follows:

If to City: City Engineer
 City of Aurora
 15151 East Alameda Parkway, Suite 3200
 Aurora, CO 80012

With Copy: City Attorney
 City of Aurora

15151 East Alameda Parkway, Suite 5300
Aurora, CO 80012

If to
District: ACC Metropolitan District
c/o Special District Management Services, Inc.
141 Union Boulevard, Suite 150
Lakewood, Colorado 80228

11. Captions. Captions to paragraphs are for convenience and reference purposes only and will not affect the construction of the meaning of the terms and provisions of this Agreement.
12. Successors and Assigns. This Agreement will be binding upon and inure to the benefit of the Parties hereto, their representatives, successors, and assigns. This Agreement is intended by the Parties hereto to be of use and benefit of the Parties and no person or entity not a party to this Agreement will be authorized or entitled to rely on the benefits of this Agreement or seek to enforce any of the terms, provisions or covenants contained herein as a third party beneficiary hereof.
13. Governing Law. This Agreement will be governed by and construed in accordance with the laws of the State of Colorado.
14. Counterparts. This Agreement may be executed in one or more counterparts, each of which will constitute an original agreement, but all of which together will constitute a single agreement. A facsimile transmitted copy of this Agreement executed by one of the Parties hereto will be accepted as an originally executed copy of this Agreement.
15. City Discretion. For any matters in this Agreement which are subject to the City's approval, consent or discretion, the City shall act reasonably and in good faith, and shall not unreasonably withhold, condition or delay any such approval, consent or discretionary matter.

IN WITNESS WHEREOF, the Parties have executed this Agreement as of the Effective Date. By the signature of its representative below, each party affirms that it has taken all necessary action to authorize said representative to execute this Agreement.

DISTRICT

Print Name

Signature

Date

ATTEST:

Print Name

Signature

Date

STATE OF COLORADO)

) ss

COUNTY OF _____)

The foregoing instrument was acknowledged before me this _____ day of _____, 202_, by _____, _____, acting on behalf of the _____.

Witness my hand and official seal. _____

Notary Public

My commission expires: _____

(SEAL)

City of Aurora, Colorado

Mike Coffman, Mayor

Date

Attest:

Kadee Rodriguez, City Clerk

Date

Approved as to form for Aurora:

Michelle Gardner, Sr. Assistant City Attorney

Date

ACS #

State of Colorado)
) ss
County of Arapahoe)

The foregoing instrument was acknowledged before me this _____ day of _____, 20____,
by Mike Coffman, Mayor, acting on behalf of the Utility Enterprise of the City of Aurora,
Colorado.

EXHIBIT B

Approved Plans

CITY OF AURORA GENERAL NOTES

- 203601 THE CONTRACTOR SHALL VERIFY THE EXISTING UTILITIES WITH THE CITY OF AURORA AND THE UTILITY COMPANIES PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF AURORA AND THE UTILITY COMPANIES PRIOR TO CONSTRUCTION.
- 203602 THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF AURORA AND THE UTILITY COMPANIES PRIOR TO CONSTRUCTION.
- 203603 THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF AURORA AND THE UTILITY COMPANIES PRIOR TO CONSTRUCTION.
- 203604 THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF AURORA AND THE UTILITY COMPANIES PRIOR TO CONSTRUCTION.
- 203605 THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF AURORA AND THE UTILITY COMPANIES PRIOR TO CONSTRUCTION.
- 203606 THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF AURORA AND THE UTILITY COMPANIES PRIOR TO CONSTRUCTION.
- 203607 THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF AURORA AND THE UTILITY COMPANIES PRIOR TO CONSTRUCTION.
- 203608 THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF AURORA AND THE UTILITY COMPANIES PRIOR TO CONSTRUCTION.
- 203609 THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF AURORA AND THE UTILITY COMPANIES PRIOR TO CONSTRUCTION.
- 203610 THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF AURORA AND THE UTILITY COMPANIES PRIOR TO CONSTRUCTION.
- 203611 THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF AURORA AND THE UTILITY COMPANIES PRIOR TO CONSTRUCTION.
- 203612 THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF AURORA AND THE UTILITY COMPANIES PRIOR TO CONSTRUCTION.
- 203613 THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF AURORA AND THE UTILITY COMPANIES PRIOR TO CONSTRUCTION.
- 203614 THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF AURORA AND THE UTILITY COMPANIES PRIOR TO CONSTRUCTION.
- 203615 THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF AURORA AND THE UTILITY COMPANIES PRIOR TO CONSTRUCTION.
- 203616 THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF AURORA AND THE UTILITY COMPANIES PRIOR TO CONSTRUCTION.
- 203617 THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF AURORA AND THE UTILITY COMPANIES PRIOR TO CONSTRUCTION.
- 203618 THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF AURORA AND THE UTILITY COMPANIES PRIOR TO CONSTRUCTION.
- 203619 THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF AURORA AND THE UTILITY COMPANIES PRIOR TO CONSTRUCTION.
- 203620 THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF AURORA AND THE UTILITY COMPANIES PRIOR TO CONSTRUCTION.
- 203621 THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF AURORA AND THE UTILITY COMPANIES PRIOR TO CONSTRUCTION.

NOTE: THE CONTRACTOR SHALL VERIFY THE EXISTING UTILITIES WITH THE CITY OF AURORA AND THE UTILITY COMPANIES PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF AURORA AND THE UTILITY COMPANIES PRIOR TO CONSTRUCTION.

BENCHMARK AND DATUM: THE BENCHMARK IS A 3 INCH BENCH MARK SET BY THE CITY OF AURORA. THE DATUM IS THE CITY OF AURORA DATUM.

CIVIL ENGINEER: MATT DAMONSON, P.E. PROJECT ENGINEER: MATT DAMONSON, P.E.

CLIENT: FIRST PERSON COMMERCIAL CENTER PHASE 1, LLC. 1000 SOUTH WASHINGTON AVENUE, SUITE 100, AURORA, CO 80012

APPROVED ON 07/12/2021

CITY OF AURORA

AURORA COMMERCE CENTER SUBDIVISION FILING NO. 3

PICADILLY ROAD AND SMITH ROAD IMPROVEMENTS -

SMITH ROAD TO 32ND PARKWAY

ADAMS COUNTY, CITY OF AURORA, COLORADO



SHEET NO.	DESCRIPTION
1	GENERAL NOTES
2	CONSTRUCTION METHODS
3	CONSTRUCTION METHODS
4	CONSTRUCTION METHODS
5	CONSTRUCTION METHODS
6	CONSTRUCTION METHODS
7	CONSTRUCTION METHODS
8	CONSTRUCTION METHODS
9	CONSTRUCTION METHODS
10	CONSTRUCTION METHODS
11	CONSTRUCTION METHODS
12	CONSTRUCTION METHODS
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45	CONSTRUCTION METHODS

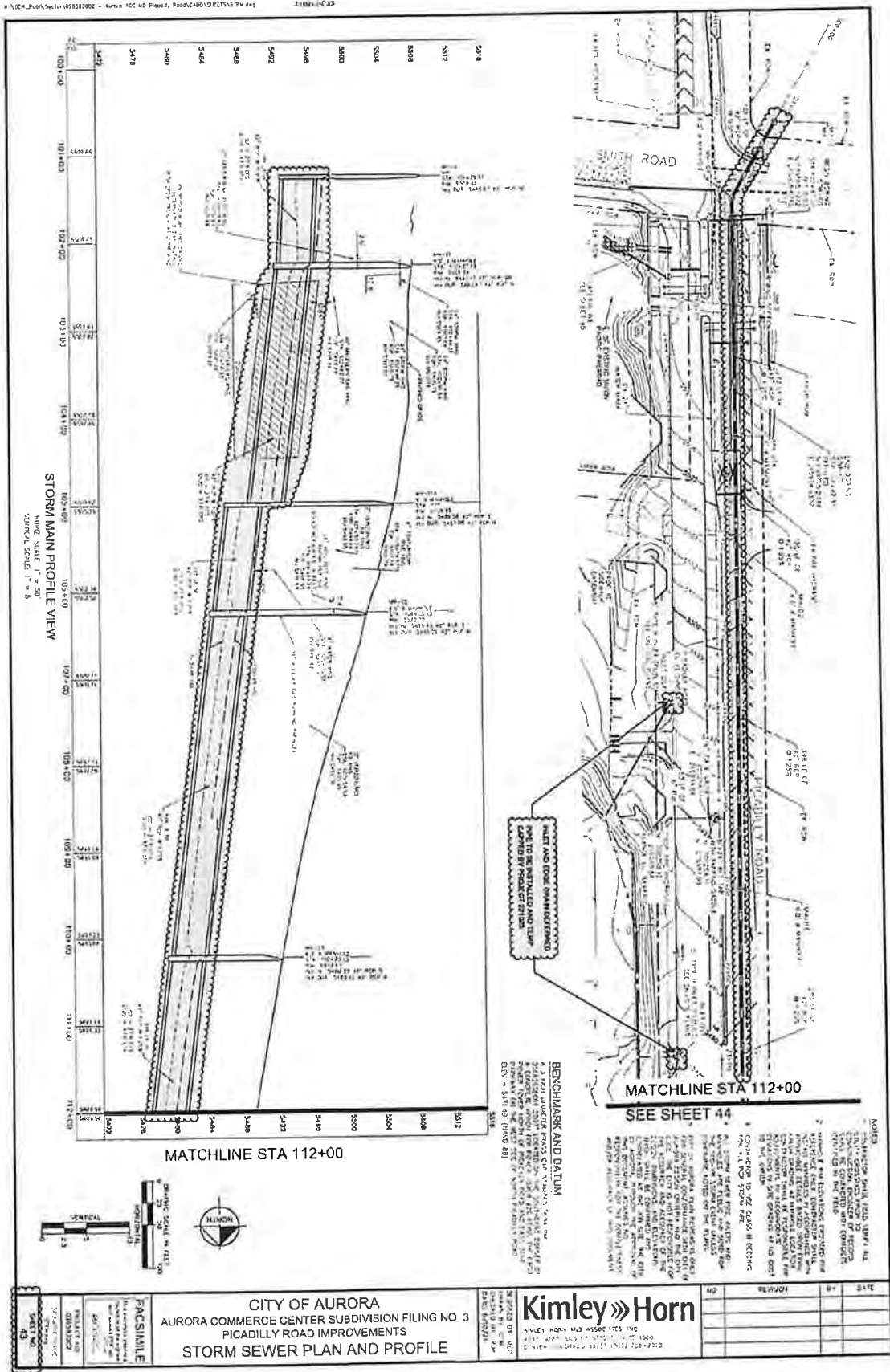
SHEETS 1 AND 2 REFERRED TO PREVIOUS SHEETS TO BE DETERMINED AT VISUAL.

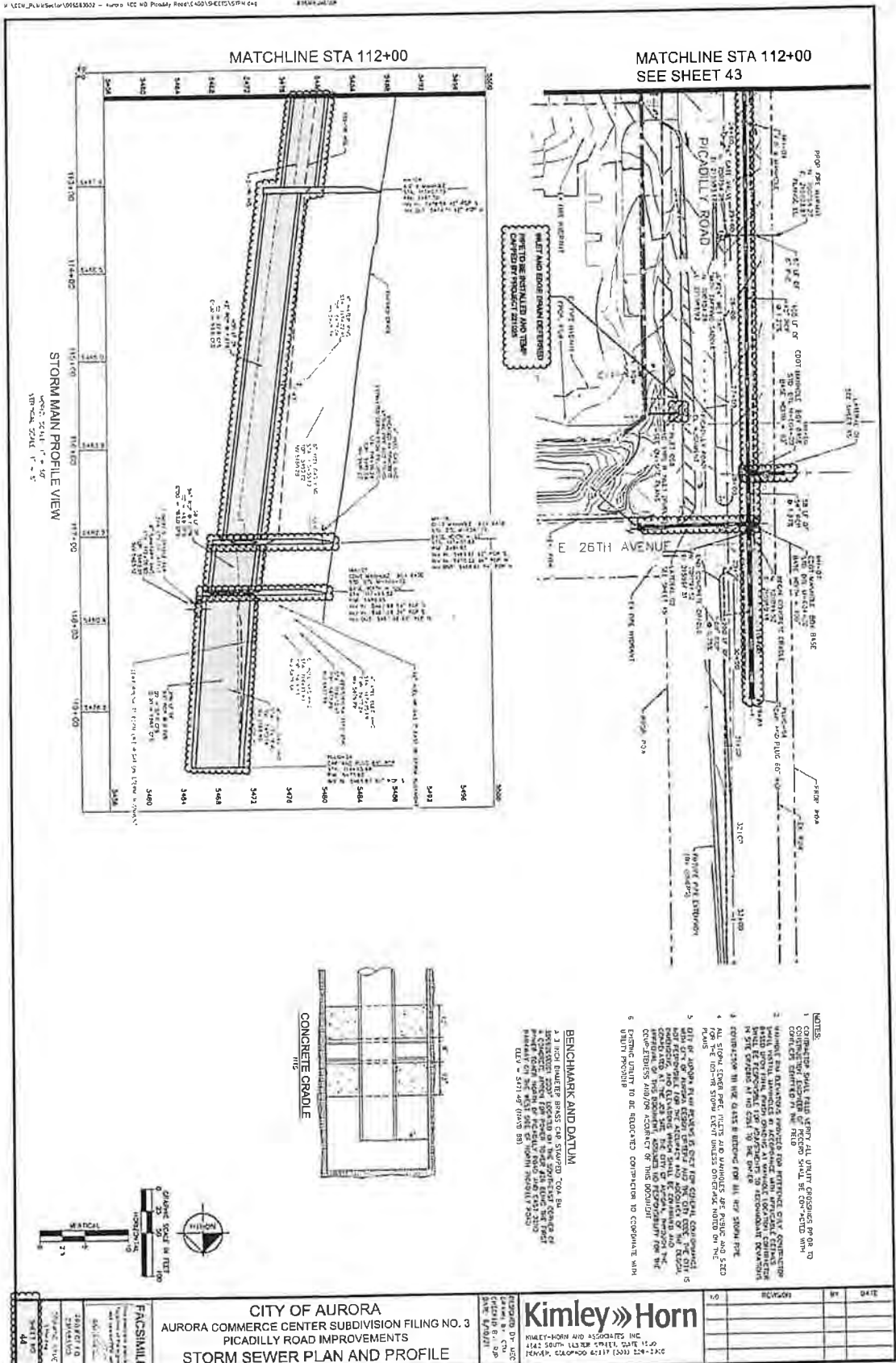
APPROVED FOR ONE YEAR FROM THIS DATE: 07/12/2021

DATE: 07/09/2021
DATE: 07/07/2021
DATE: 06/23/2021

CITY OF AURORA
AURORA COMMERCE CENTER SUBDIVISION FILING NO. 3
PICADILLY ROAD IMPROVEMENTS
COVER SHEET

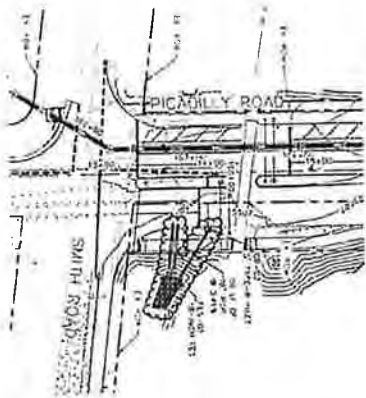
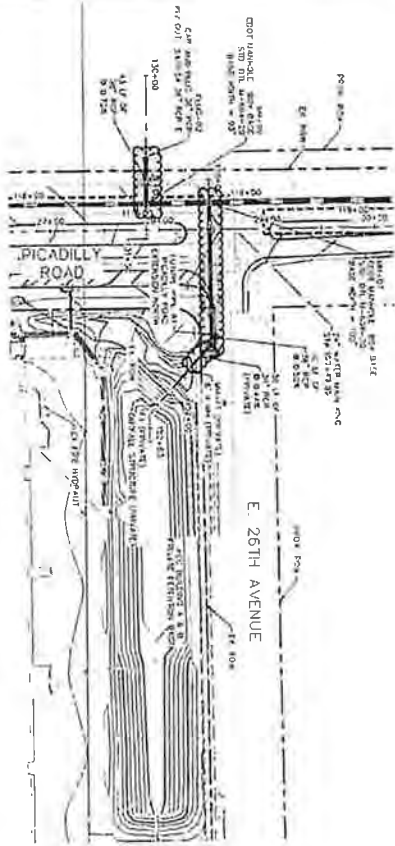
Kimley Horn
KIMLEY-HORN AND ASSOCIATES, INC.
4592 SOUTH WASHINGTON AVENUE, SUITE 1000
AURORA, COLORADO 80012 (303) 296-1300



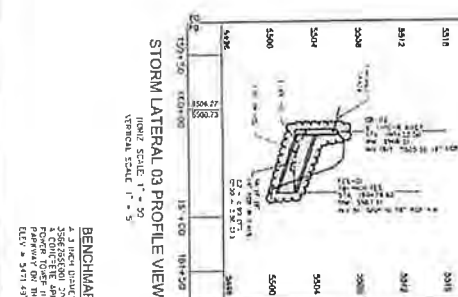
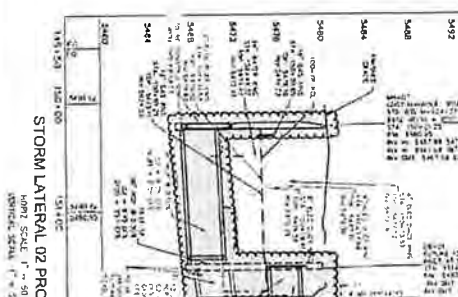
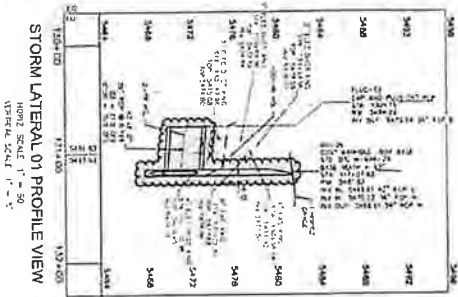


APPROVED ON 07/12/2021

EXHIBIT B - DEFERRED STORM IMPROVEMENTS SHEET 4 OF 5



- NOTES:
1. CONTRACTOR SHALL FIELD VERIFY ALL DIMENSIONS AND RECORD AS SHOWN ON RECORD SHEET. CONTRACTOR SHALL BE RESPONSIBLE FOR RECORD SHEET.
 2. UNLESS OTHERWISE NOTED, ALL DIMENSIONS SHALL BE IN FEET AND INCHES. ALL DIMENSIONS SHALL BE TO THE CENTERLINE OF THE PIPE UNLESS OTHERWISE NOTED.
 3. ELEVATIONS TO THE CENTERLINE OF THE PIPE UNLESS OTHERWISE NOTED.
 4. ALL DIMENSIONS SHALL BE TO THE CENTERLINE OF THE PIPE UNLESS OTHERWISE NOTED.
 5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION AND DEPTH OF ALL EXISTING UTILITIES AND SHALL BE RESPONSIBLE FOR PROTECTING ALL UTILITIES.



BENCHMARK AND DATUM

A BENCHMARK IS LOCATED AT THE CORNER OF THE INTERSECTION OF THE EAST SIDE OF THE ROAD AND THE NORTH SIDE OF THE ROAD. THE BENCHMARK IS A CONCRETE PILE 12\"/>



APPROVED ON 07/12/2021

EXHIBIT B - DEFERRED STORM IMPROVEMENTS SHEET 5 OF 5

	<p>CITY OF AURORA AURORA COMMERCE CENTER SUBDIVISION FILING NO. 3 PICADILLY ROAD IMPROVEMENTS STORM SEWER PLAN AND PROFILE</p>	<p>Kimley-Horn 15000 15000 15000</p>
	<p>PROJECT NO. 15000 SHEET NO. 45</p>	<p>DATE: 07/12/2021 TIME: 10:00 AM</p>

EXHIBIT C
2022 Engineer's Opinion of Cost Estimates

AURORA COMMERCE CENTER
Piccadilly Road Interim Improvements
Program Budget Estimates (06/24/22)

PICCADILLY STORM DRAIN BUDGET

Hard Construction Costs

General Construction	\$ 166,150.00
Traffic Control	\$ 210,300.00
Erosion Control	\$ 105,290.16
Demolition	\$ 65,704.89
Storm ⁽³⁾	\$ 2,457,130.00
Paving	\$ 801,801.33
Signage & Striping	\$ 11,173.10
Utility Relocation ALLOWANCE ⁽⁴⁾	\$ 425,000.00
Minor Construction Revisions (10%)	\$ 381,754.95
Contingency (10%)	\$ 424,254.95
Escalations (10% x 2 years)	\$ 1,003,191.00
Hard Construction Costs Subtotal	\$ 6,051,750.38

Soft Costs

Civil Design	\$ 74,800.00
Civil Construction Administration	\$ 35,000.00
Construction Management Services	\$ 182,624.10
Geotechnical Testing (2.5%)	\$ 151,293.76
Construction Staking (2%)	\$ 121,035.01
Minor Construction Revisions (10%)	\$ 44,371.79
Contingency (10%)	\$ 56,475.29
Financing cost	\$ 190,954.00
Soft Costs Subtotal	\$ 856,553.94

PICCADILLY ST TOTALS	\$ 6,908,304.32
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- (1) The majority of design engineering is complete. Remaining design work includes seeking United Pacific project approval, submittal review and RFI responses during Construction
- (2) The project manager will assist in the creation and approval of the needed Union Pacific Utility Agreement
- (3) Storm Drain Across the railroad track is assumed to be bored, not open trench
- (4) Cost to relocate private Gas & Electric

PROJECT SPECIAL CONDITIONS:

- Prices are estimated using a January 2023 start date
- Prices are estimated using a 120 day construction schedule
- The storm drain crossing of the Union Pacific tracks will be via encased bore, not open trench
- The City of Aurora will allow a full closure of Piccadilly for storm installation
- The paving improvements to Piccadilly Road shall be excluded except where needed to restore the roadway over the storm drain
- All materials inspection & Testing will be split between Langen & TBD geotechnical consultant

**SMITH ROAD & PICCADILLY ROAD IMPROVEMENTS
CONSTRUCTION PROJECT MANAGEMENT ESTIMATES**

	2022						2023					Total	Rate	TOTAL	
	JUN	JUL	AUG	SEP	OCT	NOV	DEC	JAN	FEB	MAR	APR				MAY
CPM TASKS PICCADILLY STORM	HOURS PER MONTH												HR	\$	\$
Negotiate Utility Agreement with United Pacific ⁽¹⁾			20	20	20	20							80	\$190.00	\$15,200.00
Coordinate with RR during Construction							8	8	8	8	8	8	48	\$190.00	\$9,120.00
Coordinate with Xcel for electric relocation		10	10	4									24	\$190.00	\$4,560.00
Coordinate with Magellan/Newstar for gas relocations			20	10	10	10	10						60	\$190.00	\$11,400.00
Solicit Contractors (storm, Geotech, SWMP etc.)				20	10	10							40	\$190.00	\$7,600.00
Contract Administration							16	16	16	16	16	16	96	\$190.00	\$18,240.00
Construction Coordination							48	48	48	48	48	48	288	\$190.00	\$54,720.00
Weekly Meetings							8	8	8	8	8	8	48	\$190.00	\$9,120.00
CPM SUBTOTAL	0	10	50	54	40	40	90	80	80	80	80	80	684	\$190.00	\$129,960.00

	2022						2023					Total	Rate	TOTAL	
	JUN	JUL	AUG	SEP	OCT	NOV	DEC	JAN	FEB	MAR	APR				MAY
FIELD TASKS PICCADILLY STORM	HOURS PER MONTH												HR	\$	\$
Field Inspector							48	48	48	48	48	48	288	\$110.00	\$31,680.00
Coordinate with RR							8	8	8	8	8	8	48	\$110.00	\$5,280.00
Construction Manager Site Visit							8	8	8	8	8	8	48	\$190.00	\$9,120.00
Survey Staking for Xcel		10											10	\$95.00	\$950.00
UAV Flights							4	4	4	4	4		20	\$135.00	\$2,700.00
FIELD SUBTOTAL	0	10	0	0	0	0	68	68	68	68	68	64	414		\$49,730.00

													\$	\$	\$
ADMINISTRATION															
Accounting & Billing								\$142.50	\$142.50	\$142.50	\$142.50	\$142.50	N/A	N/A	\$712.50
Milage & Tolls (\$18.70/trip)							\$224.40	\$224.40	\$224.40	\$224.40	\$224.40	\$149.60	N/A	N/A	\$1,271.60
Direct Expenses (5%)							\$190.00	\$190.00	\$190.00	\$190.00	\$190.00		N/A	N/A	\$950.00
ADMINISTRATION SUBTOTAL	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	\$224.40	\$556.90	\$556.90	\$556.90	\$556.90	\$482.10			\$2,934.10

PICCADILLY ROAD STORM TOTALS	0	20	50	54	40	40	158	148	148	148	148	144	1098		\$182,624.10
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(1) Assume the engineer of record will be in charge of the direct review and approval of the construction plans. The CPM will assist in obtaining a utility license agreement with the Railroad.

Assumptions:

Bid Item	ITEM	UOM	Estimate Total Quantity	UNIT COST	TOTAL COST	SCOPE, MEASUREMENT & PAYMENT NOTES
	General					
	Mobilization/Demobilization	EA	1	\$ 100,000.00	\$ 100,000.00	
	Potholes (field determined)	EA	39	\$ 350.00	\$ 13,650.00	EOR has mandated re-polishing all storm utility crossing ahead of construction
	Orange Construction Fence	LF	500	\$ 5.00	\$ 2,500.00	As needed to protect on site surface features
	Permitting Costs	LS	1	\$ 50,000.00	\$ 50,000.00	Invoiced cost for all needed permits on the project
	Traffic Control					
	Temporary Traffic Control Devices	Day	90	\$ 1,200.00	\$ 108,000.00	Devices as approved by COA on approved traffic control plans.
	Traffic Control Supervision	Day	90	\$ 700.00	\$ 63,000.00	Daily supervision of temporary traffic control plans and devices during construction
	Traffic Control Inspection	Day	90	\$ 270.00	\$ 24,300.00	Daily inspection of temporary traffic control devices if contractor is de-mobilized
	Traffic Control Flagging	Hour	300	\$ 50.00	\$ 15,000.00	
	Erosion Control					
	<i>All SWMP protection quantities are field determined as needed</i>					
	Erosion Control Management	Month	5	\$ 18,000.00	\$ 90,000.00	the management of erosion control and SWMP permits, including inspections, maintenance, record keeping, SWMP plan updates, and attendance of weekly CM coordination meetings
	Silt Fence	LF	1,358	\$ 2.50	\$ 3,395.00	
	Curb Inlet Protection	EA	3	\$ 900.00	\$ 2,700.00	
	Outlet Protection	EA	1	\$ 900.00	\$ 900.00	
	Seed & Mulch	SF	990	\$ 0.10	\$ 99.00	
	Seed & Blanket	SF	29,272	\$ 0.28	\$ 8,196.16	
	Demolition					
	Sawcut Existing Pavement	LF	2,482	\$ 8.00	\$ 19,856.00	
	Remove & Dispose of Asphalt Pavement	SY	4,450	\$ 10.00	\$ 44,498.89	
	Remove & Dispose 6" Curb & Gutter	LF	15	\$ 10.00	\$ 150.00	
	Remove & Dispose of 6" Sidewalk	SF	100	\$ 12.00	\$ 1,200.00	
	Remove & Dispose of 18" Storm Pipe	LF	0	\$ 4.00	\$ -	
	Remove & Dispose of Rip Rap	SF	0	\$ 20.00	\$ -	
	Remove Pavement Markings	LF	0	\$ 2.00	\$ -	
	Remove Pavement Arrows	EA	0	\$ 300.00	\$ -	
	Remove Street Sign or Markers	EA	0	\$ 300.00	\$ -	
	Remove & Reset Existing Signs	EA	0	\$ -	\$ -	
	Storm Drain					
	18" RCP	LF	56	\$ 160.00	\$ 8,960.00	
	36" RCP	LF	68	\$ 210.00	\$ 14,280.00	
	36" RCP ACC	LF	130	\$ 210.00	\$ 27,300.00	
	36" RCP Kiewit	LF	43	\$ 210.00	\$ 9,030.00	
	42" RCP	LF	1,382	\$ 360.00	\$ 497,520.00	

42" RCP Bore & Casing	LF	200	\$ 8,400.00	\$ 1,680,000.00	
54" RCP	LF	58	\$ 380.00	\$ 22,040.00	
60" RCP	LF	200	\$ 400.00	\$ 80,000.00	
Storm Drain Manhole (12' - 16')	EA	3	\$ 8,200.00	\$ 24,600.00	
Storm Drain Manhole (12' - 16') ACC	EA	1	\$ 8,200.00	\$ 8,200.00	
Storm Drain Manhole (12' - 16') Kiewit	EA	1	\$ 8,200.00	\$ 8,200.00	
Storm Manhole (16' - 19')	EA	3	\$ 10,000.00	\$ 30,000.00	
Curb Inlet 3'	EA	1	\$ 6,500.00	\$ 6,500.00	
Flared End Section (18")	EA	1	\$ 5,000.00	\$ 5,000.00	
Sanitary Crossing Cradle	EA	1	\$ 12,000.00	\$ 12,000.00	
Connect to Existing Curb Inlet (CB-01)	EA	1	\$ 3,500.00	\$ 3,500.00	
Plug & Cap 60" RCP	EA	1	\$ 10,000.00	\$ 10,000.00	
Plug & Cap 36" RCP	EA	1	\$ 10,000.00	\$ 10,000.00	
Paving					
Subgrade Prep (scarify, recondition & fine grade)	SY	7,712	\$ 6.00	\$ 46,270.67	Subgrade prep extends under curb, gravel shoulders
Aggregate Base Course (32")	SY	7,712	\$ 12.00	\$ 92,541.33	ABC extends under curb, gravel shoulders
Concrete Pavement	SY	0	\$ 67.00	\$ -	
Asphalt Pavement (3" Top Lift)	SY	7,712	\$ 28.00	\$ 215,929.78	(SX) PG (76-28)
Asphalt Pavement (6" Bottom Lifts)	SY	7,712	\$ 56.00	\$ 431,859.56	PG (76-28)
6" Curb and Gutter (Smith Road)	LF	0	\$ 28.00	\$ -	
Replace Existing Sidewalk (6")	SF	100	\$ 8.00	\$ 800.00	
4' Stabilized Gravel Shoulder	SY	0	\$ 6.00	\$ -	
Adjust Manhole Rim Elevation	EA	8	\$ 1,800.00	\$ 14,400.00	
Signage & Striping					
Epoxy Solid White Line 4" Wide	LF	1,125	\$ 0.70	\$ 787.50	
Epoxy Solid White 8" Wide	LF	2,638	\$ 1.20	\$ 3,165.60	
Epoxy Broken Transition Line, White 4" Wide	LF	0	\$ 0.45	\$ -	
Epoxy Cross Hatch Solid White 8" Wide	LF	0	\$ 1.20	\$ -	
Epoxy Double Solid Yellow, 4" Wide	LF	1,230	\$ 1.20	\$ 1,476.00	
Epoxy Cross Hatch Solid Yellow 8" Wide	LF	120	\$ 1.20	\$ 144.00	
Thermoplastic Stop Bar 2' solid White	EA	4	\$ 400.00	\$ 1,600.00	
Thermoplastic Turn Arrow, White, 8' x 11'	EA	0	\$ 500.00	\$ -	
Thermoplastic Lane Reduction Arrow, White	EA	0	\$ 500.00	\$ -	
Thermoplastic Bike Lane Symbol	EA	0	\$ 600.00	\$ -	
Grade Crossing Pavement "X" Marking	EA	2	\$ 400.00	\$ 800.00	
Install New Sign Panel & Post	EA	8	\$ 400.00	\$ 3,200.00	

GENERAL	\$	166,150.00
TRAFFIC CONTROL	\$	210,300.00

EROSION CONTROL	\$ 105,290.16
DEMOLITION	\$ 65,704.89
STORM DRAIN	\$ 2,457,130.00
PAVING	\$ 801,801.33
SIGNAGE & STRIPING	\$ 11,173.10

PICCADILLY STORM TOTALS \$ 3,817,549.48

OTHER UTILITY COSTS

Piccadilly Electric Relocation	\$ 75,000.00
Magellan Gas Relocation	\$ 150,000.00
Nustar Gas Relocation	\$ 200,000.00

City & Kiewit Funding	upon contractor award		upon 50% completion		Upon completion		Upon acceptance 1 year	
	25%	25%	25%	25%	45%	45%	5%	5%
time in months	0	3	3	3	6	6	12	12
carry period in months	3	3	3	3	12	12		
Hard Cost	\$ 6,051,750							
Soft Cost	\$ 680,000							
	<u>\$ 6,731,750</u>	\$ 1,682,938	\$ 1,682,938	\$ 1,682,938	\$ 3,029,288	\$ 3,029,288	\$ 336,588	\$ 336,588
amount financed	\$ 6,731,750	\$ 5,048,813	\$ 3,365,875	\$ 3,365,875	\$ 336,588	\$ 336,588		
Interest rate	8%	8%	8%	8%	8%	8%		
	<u>\$</u>	<u>\$ 100,976</u>	<u>\$ 67,318</u>	<u>\$ 67,318</u>	<u>\$ 26,927</u>	<u>\$ 26,927</u>		
City of Aurora	97.20%	\$ 98,149	\$ 65,433	\$ 65,433	\$ 26,173	\$ 26,173	\$ 189,756	\$ 189,756
Kiewit	1.00%	\$ 1,010	\$ 673	\$ 673	\$ 269	\$ 269	\$ 1,952	\$ 1,952
ACC	1.80%	\$ 1,818	\$ 1,212	\$ 1,212	\$ 485	\$ 485	\$ 3,514	\$ 3,514
							\$ 195,222	\$ 195,222

Bid Item	ITEM	UOM	FULL PROJECT		
			Estimate Total Quantity	UNIT COST	TOTAL COST
	General				
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	Pathholes (field determined)	EA	39	\$ 350.00	\$ 13,650.00
	Orange Construction Fence	LF	500	\$ 5.00	\$ 2,500.00
	Permitting Costs	LS	1	\$ 50,000.00	\$ 50,000.00
	Traffic Control				
	Temporary Traffic Control Devices	Day	90	\$ 1,200.00	\$ 108,000.00
	Traffic Control Supervision	Day	90	\$ 700.00	\$ 63,000.00
	Traffic Control Inspection	Day	90	\$ 270.00	\$ 24,300.00
	Traffic Control Flagging	Hour	300	\$ 50.00	\$ 15,000.00
	Erosion Control				
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	Demolition				
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	42" RCP Bore & Casing	LF	200	\$ 8,400.00	\$ 1,680,000.00
	54" RCP	LF	58	\$ 380.00	\$ 22,040.00
	60" RCP	LF	200	\$ 400.00	\$ 80,000.00
	Storm Drain Manhole (12' - 16')	EA	3	\$ 8,200.00	\$ 24,600.00
	Storm Drain Manhole (12' - 16') ACC	EA	1	\$ 8,200.00	\$ 8,200.00
	Storm Drain Manhole (12' - 16') Kiewit	EA	1	\$ 8,200.00	\$ 8,200.00
	Storm Manhole (16' - 19')	EA	3	\$ 10,000.00	\$ 30,000.00
	Curb Inlet 3'	EA	1	\$ 6,500.00	\$ 6,500.00
	Flared End Section (18")	EA	1	\$ 5,000.00	\$ 5,000.00
	Sanitary Crossing Cradle	EA	1	\$ 12,000.00	\$ 12,000.00
	Connect to Existing Curb Inlet (CB-01)	EA	1	\$ 3,500.00	\$ 3,500.00
	Plug & Cap 60" RCP	EA	1	\$ 10,000.00	\$ 10,000.00
	Plug & Cap 36" RCP	EA	1	\$ 10,000.00	\$ 10,000.00
	Paving				
	Subgrade Prep (scarify, recondition & fine grade)	SY	7,712	\$ 6.00	\$ 46,272.67
	Aggregate Base Course (32")	SY	7,712	\$ 12.00	\$ 92,541.33
	Concrete Pavement	SY	0	\$ 67.00	\$ -
	Asphalt Pavement (3" Top Lift)	SY	7,712	\$ 28.00	\$ 215,929.78
	Asphalt Pavement (6" Bottom Lifts)	SY	7,712	\$ 56.00	\$ 431,859.56
	6" Curb and Gutter (Smith Road)	LF	0	\$ 28.00	\$ -
	Replace Existing Sidewalk (6")	SF	100	\$ 8.00	\$ 800.00
	4' Stabilized Gravel Shoulder	SY	0	\$ 6.00	\$ -
	Adjust Manhole Rim Elevation	EA	8	\$ 1,800.00	\$ 14,400.00
	Signage & Striping				
	Epoxy Solid White Line 4" Wide	LF	1,125	\$ 0.70	\$ 787.50
	Epoxy Solid White 8" Wide	LF	2,638	\$ 1.20	\$ 3,165.60
	Epoxy Broken Transition Line, White 4" Wide	LF	0	\$ 0.45	\$ -
	Epoxy Cross Hatch Solid White 8" Wide	LF	0	\$ 1.20	\$ -
	Epoxy Double Solid Yellow, 4" Wide	LF	1,230	\$ 1.20	\$ 1,476.00
	Epoxy Cross Hatch Solid Yellow 8" Wide	LF	120	\$ 1.20	\$ 144.00
	Thermoplastic Stop Bar 2' solid White	EA	4	\$ 400.00	\$ 1,600.00
	Thermoplastic Turn Arrow, White, 8' x 11'	EA	0	\$ 500.00	\$ -
	Thermoplastic Lane Reduction Arrow, White	EA	0	\$ 500.00	\$ -
	Thermoplastic Bike Lane Symbol	EA	0	\$ 600.00	\$ -
	Grade Crossing Pavement "X" Marking	EA	2	\$ 400.00	\$ 800.00
	Install New Sign Panel & Post	EA	8	\$ 400.00	\$ 3,200.00

GENERAL \$ 168,150.00

QTY PRORATION		
COA Portion	ACC Portion	Kiewit Portion
0.97	0.02	0.01
30	5	4
500		
1		
0		
0		
90		
90		
90		
300		
0		
0		
5		
1,358		
3		
1		
990		
29,272		
0		
2,179	280	53
4,197	217	36
15		
100		
0		
0		
0		
0		
0		
0		
0		
0		
0		
56		
68		
0	130	
0		43
1,382		
200		
58		
200		
3		
0	1	
0		1
3		
1		
1		
1		
0	1	
1		
0		1
0		
7,459	217	36
7,712		
0		
7,459	217	36
7,459	217	36
0		
100		
0		
0		
6	1	1
0		
0		
1,125		
2,638		
0		
0		
1,230		
120		
4		
0		
0		
0		
2		
8		

QTY PRORATION		
COA Portion	ACC Portion	Kiewit Portion
\$ 97,000.00	\$ 2,000.00	\$ 1,000.00
\$ 10,500.00	\$ 1,750.00	\$ 1,400.00
\$ 2,500.00	\$ -	\$ -
\$ 50,000.00	\$ -	\$ -
\$ -	\$ -	\$ -
\$ -	\$ -	\$ -
\$ 108,000.00	\$ -	\$ -
\$ 63,000.00	\$ -	\$ -
\$ 24,300.00	\$ -	\$ -
\$ 15,000.00	\$ -	\$ -
\$ -	\$ -	\$ -
\$ -	\$ -	\$ -
\$ 90,000.00	\$ -	\$ -
\$ 3,395.00	\$ -	\$ -
\$ 2,700.00	\$ -	\$ -
\$ 900.00	\$ -	\$ -
\$ 99.00	\$ -	\$ -
\$ 8,196.16	\$ -	\$ -
\$ -	\$ -	\$ -
\$ -	\$ -	\$ -
\$ 17,432.00	\$ 2,000.00	\$ 424.00
\$ 41,968.89	\$ 2,170.00	\$ 360.00
\$ 150.00	\$ -	\$ -
\$ 1,200.00	\$ -	\$ -
\$ -	\$ -	\$ -
\$ -	\$ -	\$ -
\$ -	\$ -	\$ -
\$ -	\$ -	\$ -
\$ -	\$ -	\$ -
\$ -	\$ -	\$ -
\$ -	\$ -	\$ -
\$ -	\$ -	\$ -
\$ 8,960.00	\$ -	\$ -
\$ 14,280.00	\$ -	\$ -
\$ -	\$ 27,300.00	\$ -
\$ -	\$ -	\$ 8,030.00
\$ 497,520.00	\$ -	\$ -
\$ 1,680,000.00	\$ -	\$ -
\$ 22,040.00	\$ -	\$ -
\$ 80,000.00	\$ -	\$ -
\$ 24,600.00	\$ -	\$ -
\$ -	\$ 8,200.00	\$ -
\$ -	\$ -	\$ 8,200.00
\$ 30,000.00	\$ -	\$ -
\$ 6,500.00	\$ -	\$ -
\$ 5,000.00	\$ -	\$ -
\$ 12,000.00	\$ -	\$ -
\$ -	\$ 3,500.00	\$ -
\$ 10,000.00	\$ -	\$ -
\$ -	\$ -	\$ 10,000.00
\$ -	\$ -	\$ -
\$ -	\$ -	\$ -
\$ 44,752.67	\$ 1,302.00	\$ 216.00
\$ 92,541.33	\$ -	\$ -
\$ -	\$ -	\$ -
\$ 208,845.78	\$ 6,076.00	\$ 1,008.00
\$ 417,891.56	\$ 12,162.00	\$ 2,016.00
\$ -	\$ -	\$ -
\$ 800.00	\$ -	\$ -
\$ -	\$ -	\$ -
\$ 10,800.00	\$ 1,800.00	\$ 1,800.00
\$ -	\$ -	\$ -
\$ -	\$ -	\$ -
\$ 787.50	\$ -	\$ -
\$ 3,165.60	\$ -	\$ -
\$ -	\$ -	\$ -
\$ -	\$ -	\$ -
\$ 1,476.00	\$ -	\$ -
\$ 144.00	\$ -	\$ -
\$ 1,600.00	\$ -	\$ -
\$ -	\$ -	\$ -
\$ -	\$ -	\$ -
\$ -	\$ -	\$ -
\$ 800.00	\$ -	\$ -
\$ 3,200.00	\$ -	\$ -

\$ 160,000.00 \$ 3,750.00 \$ 2,400.00

TRAFFIC CONTROL	\$ 210,300.00
EROSION CONTROL	\$ 105,290.16
DEMOLITION	\$ 65,704.89
STORM DRAIN	\$ 2,457,130.00
PAVING	\$ 801,801.33
SIGNAGE & STRIPING	\$ 11,173.10

PICCADILLY STORM TOTALS \$ 3,817,548.48

\$ 210,300.00	\$ -	\$ -
\$ 105,290.16	\$ -	\$ -
\$ 60,750.89	\$ 4,170.00	\$ 784.00
\$ 2,390,900.00	\$ 39,000.00	\$ 27,230.00
\$ 775,431.33	\$ 21,330.00	\$ 5,040.00
\$ 11,173.10	\$ -	\$ -
\$ 3,713,845.48	\$ 68,250.00	\$ 35,454.00
	1.8%	1.0%



141 Union Boulevard, Suite 150
Lakewood, CO 80228-1898
303-987-0835 • Fax: 303-987-2032

MEMORANDUM

TO: Board of Directors

FROM: Christel Gemski
Executive Vice-President

DATE: September 2, 2022

RE: Notice of 2023 Rate Increase

A rectangular box containing a handwritten signature in blue ink that reads "Christel Gemski".

In accordance with the Management Agreement (“Agreement”) between the District and Special District Management Services, Inc. (“SDMS”), at the time of the annual renewal of the Agreement, the hourly rate described in Article III for management and all services shall increase by the CPI (8.5%) per hour.

We hope you will understand that it is necessary to increase our rates due to increasing gas and operating costs along with new laws and rules implemented by our legislature.



October 15, 2022

Dear Client:

Our Firm prides itself on providing the highest level of service in the most efficient manner. In the current economic environment, we are facing increased costs in all areas of the business. In order to continue to provide consistent high-level service we have found it necessary to implement a rate increase.

In accordance with the Firm's fee engagement letter, this letter is to advise you that effective January 1, 2023, the hourly rates of selected attorneys and staff will be adjusted. Hourly rates will be as follows: Shareholders \$425 - \$550; Of Counsel \$380 - \$425; Associates \$275 - \$375; Paralegals and Directors \$225 - \$240; Law Clerks \$150; File Clerks \$30.

Commencing on January 1, 2023, we will begin charging most costs incurred on your behalf as an administrative fee equal to 1% of the legal fees charged in a given month. This fee includes such costs as long-distance telephone calls, research requiring a subscription database, in-office photocopies and faxes, ordinary postage, and messenger and delivery services, and includes a small overhead component. This fee may be adjusted with notice.

This fee is based on our historic experience, as well as client feedback, that invoices that itemize every photocopy, fax, and delivery charge are confusing. Any advances made on behalf of the client as well as major costs, such as major travel expenses, application/submittal/recording fees, election expenses, court costs, publication costs, express delivery, and conference calls and videoconferencing where a third-party provider is used, will be separately invoiced at our actual cost. If you have any questions or concerns about this change, please let us know.

We appreciate your continued trust and confidence in our Firm and look forward to representing your interests in 2023 and beyond.

Very truly yours,

McGEADY BECHER P.C.

A handwritten signature in blue ink that reads "Cheryl L. Matlosz".

Cheryl L. Matlosz
Firm Administrator